

UCA MILLCREEK HEAD START RENOVATION

336 E 3900 S  
SALT LAKE CITY, UT 84107

ABBREVIATIONS

<b>A</b> A.F.F. A.F.L. ABV AC ACT ADD ADOL ADJ ADJCT ADMIN AL ALT ANC APC APPROX ARCH AUTO AV AVG AXFL AXPNL	<b>C (continued)</b> CL CLNG CLO CLR CM CMU CO COL COM CONC COND CONF CONN CONST CONT CORR CSK CTR CUH CW	<b>E (continued)</b> ELEV EMER ENTR EO EQ EQUIP EXIST EXP EXT	<b>H (continued)</b> HM HORZ HTR HVAC HYD	<b>M (continued)</b> MDO MECH MEMB MEZZ MFR MIN MIR MISC MTD MTL MUL MW	<b>P (continued)</b> PNL PR PREFAB PRELIM PRKG PSF PSI PT PTN PVC	<b>S (continued)</b> SPEC SS STC STD STL STN STOR STRUCT SUBFL SUSP SYM SYS	<b>W</b> W W W/O WC WD WDCP WDF WDW WGD WH WP WT
<b>B</b> B.O. _ BD BIT BLDG BLKG BM BOT BRG BRK BSMT BTWN BUR	<b>D</b> DBL DEG DEMO DEPT DF DIA DIAG DIM DK DL DN DR DS DTL DW DWG DWL	<b>F.F.E.</b> F.O. _ FA FD FE FEC FEE FHC FIXT FL FLASH FLEX FND FP FPL FRP FT FTG FTR FUR	<b>I</b> I.D. IN INCL INFO INSUL INT	<b>N</b> N NA NIC NO NOM NRC NSMF NTS	<b>Q</b> QTR QTY	<b>T</b> T T&G T.O. _ TAN TBD TBF TBM TD TEMP THK THR TPL TRTD TYP TZ	<b>X</b> XJ
<b>C</b> C.O. C.T.C. CAB CAT CF CFM CFMF CFSF CHNL CIPC CIR CJ	<b>E</b> E E.O. _ EA E EIFS EL ELEC	<b>G</b> GA GALV GBD GC GEN GL GLULAM	<b>J</b> JAN JBOX JST JT	<b>O</b> OA O.C. O.D. OFCI OFOI OH OPNG OPP OPT OPTN ORD	<b>R</b> R R.O. RCP RD RECT REF REG REINF REQD REV RH RHR RL RM RND ROW	<b>U</b> UC UG UNFIN UNO UPH UR UTIL	<b>V</b> V.I.F. VAR VB VOT VERT VEST VNR
		<b>H</b> H HB HC H HDWR	<b>K</b> KIT KO	<b>L</b> LAB LAM LAV LB LDR LF LH LHR LIN LINO LL LOC LONG LTG LVR	<b>S</b> S SCHED SD SECT SF SGL SHT SHTG SHWR SIM SLNT SLM SM SMTL SOG SP		
		<b>M</b> M.O. MAS MAT MCL MAX MDF	<b>L</b> LAB LAM LAV LB LDR LF LH LHR LIN LINO LL LOC LONG LTG LVR	<b>P</b> PA PAR PC PERIM PERP PL PLM PLAS PLB PLF PLY			

ASSEMBLY TYPE TAGS (SEE G SERIES SHEET)

<b>ROOF1</b>	ROOF ASSEMBLY	<b>TRAN1</b>	TRANSITION ASSEMBLY
<b>CLNG1</b> 12'-0"	CEILING ASSEMBLY CEILING HEIGHT ABOVE FLOOR LEVEL UND	<b>BASE1</b>	BASE ASSEMBLY
<b>FLOOR1</b>	FLOOR ASSEMBLY	<b>A3</b>	PARTITION ASSEMBLY ACOUSTICAL RATED FIRE RATING
<b>1</b>	EXTERIOR WALL ASSEMBLY ACOUSTICAL RATED FIRE RATING		

DRAFTING SYMBOLS

	MULTI - ELEVATION REFERENCE		KEYNOTE		ROOM NAME ROOM NUMBER
	ELEVATION REFERENCE		GRID LINE		DOOR NUMBER OR TYPE DOOR SIZE WHEN NOTED
	SECTION REFERENCE		EXISTING GRID LINE		MATERIAL / PRODUCT ID
	DETAIL REFERENCE		LEVEL MARKER		DRAWING NUMBER
	NORTH SYMBOL		VIEW NAME		DRAWING TITLE
			SCALE		SHEET NUMBER

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Structural Engineers

Mechanical & Electrical Engineers

MSRDesign

MJ Structural Engineers

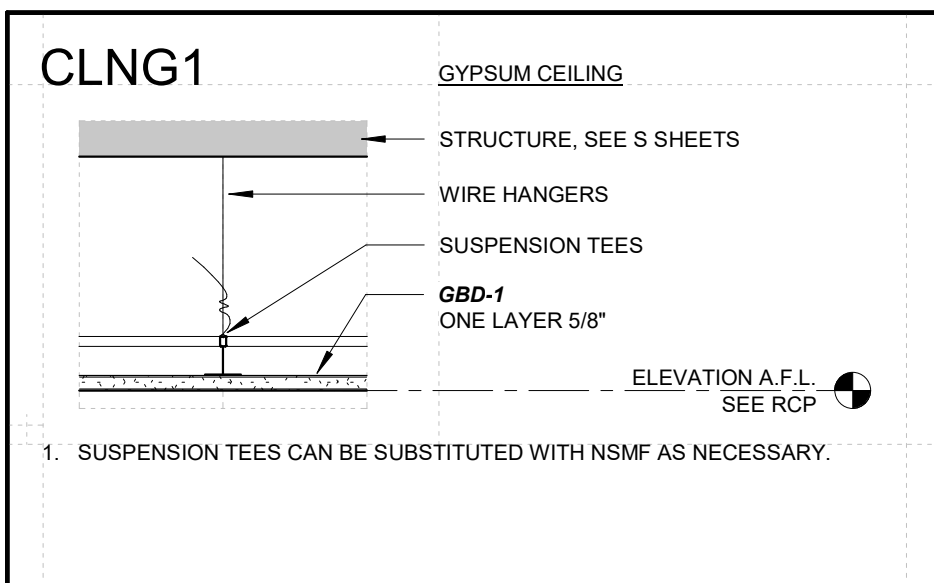
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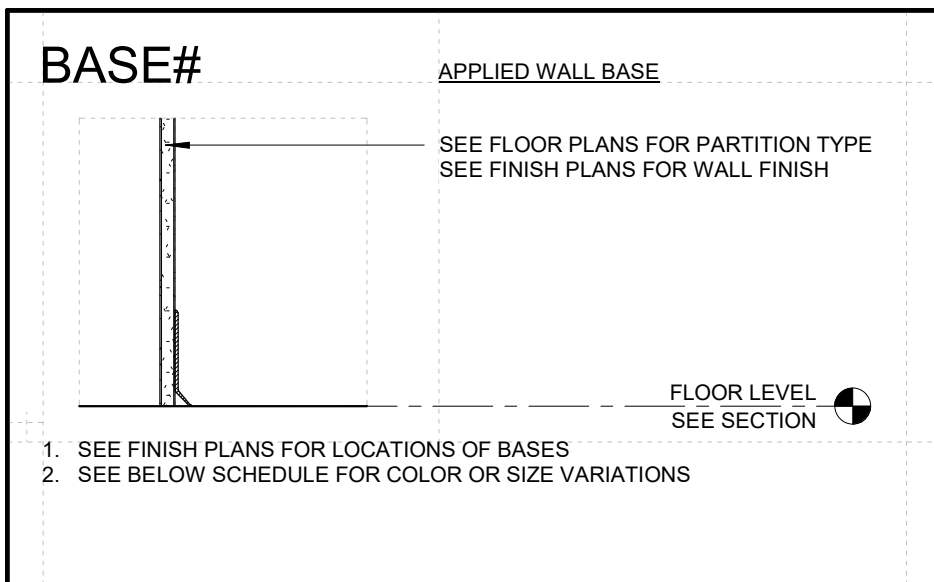
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SHT NO	SHEET NAME
GENERAL	
G000	COVER SHEET
G001	MATERIAL ID LIST, TYPES AND SYSTEMS
G051	BUILDING CODE SUMMARY
ARCHITECTURAL	
A101	LEVEL 1 DEMOLITION FLOOR AND REFLECTED CEILING PLAN
A121	LEVEL 1 FLOOR AND REFLECTED CEILING PLAN
A131	LEVEL 1 FINISH & FURNITURE, AND MILLWORK PLAN
A501	INTERIOR ELEVATIONS AND DETAILS
A601	DOOR SCHEDULE, TYPES AND DETAILS
A810	MILLWORK PLANS AND ELEVATIONS
A811	MILLWORK PLANS, ELEVATIONS, AND MILLWORK SECTIONS



## CEILING TYPES



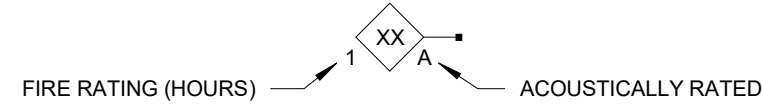
## BASE TYPES

### GENERAL NOTES

SOME PARTITIONS DESCRIBED HERE MAY NOT BE USED ON THIS PROJECT  
SEE FLOOR AND REFLECTED CEILING PLANS FOR PARTITION TYPES USED.

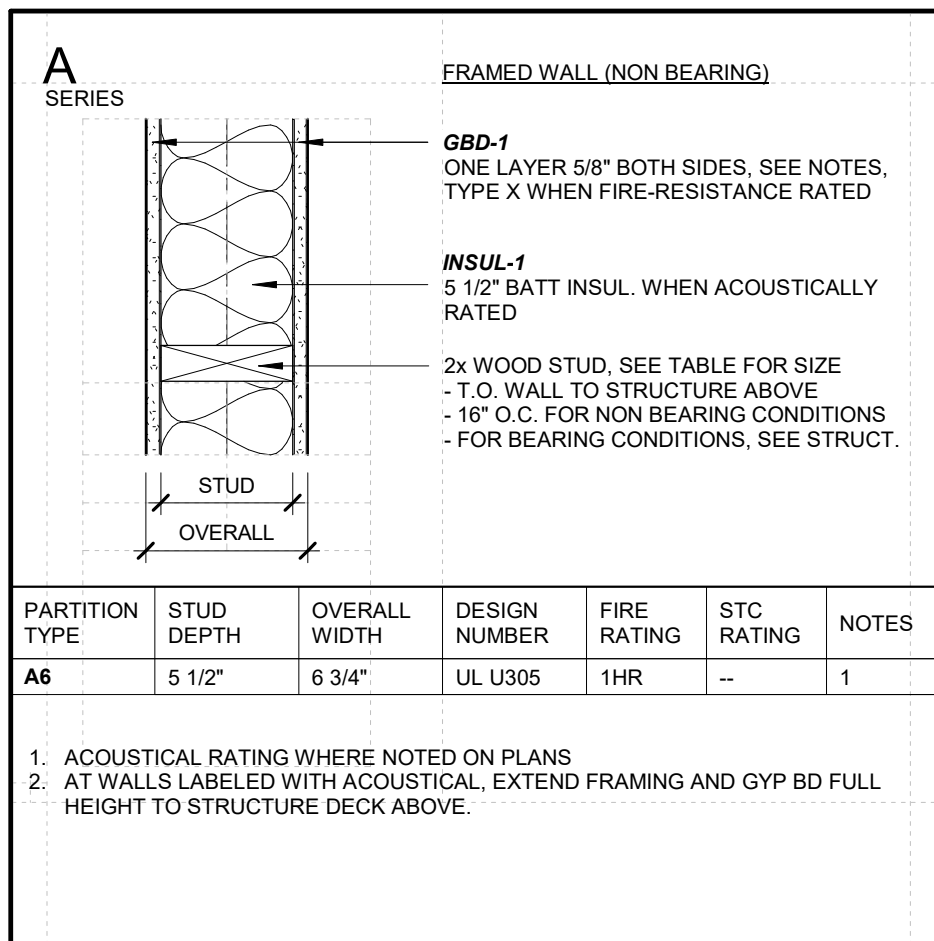
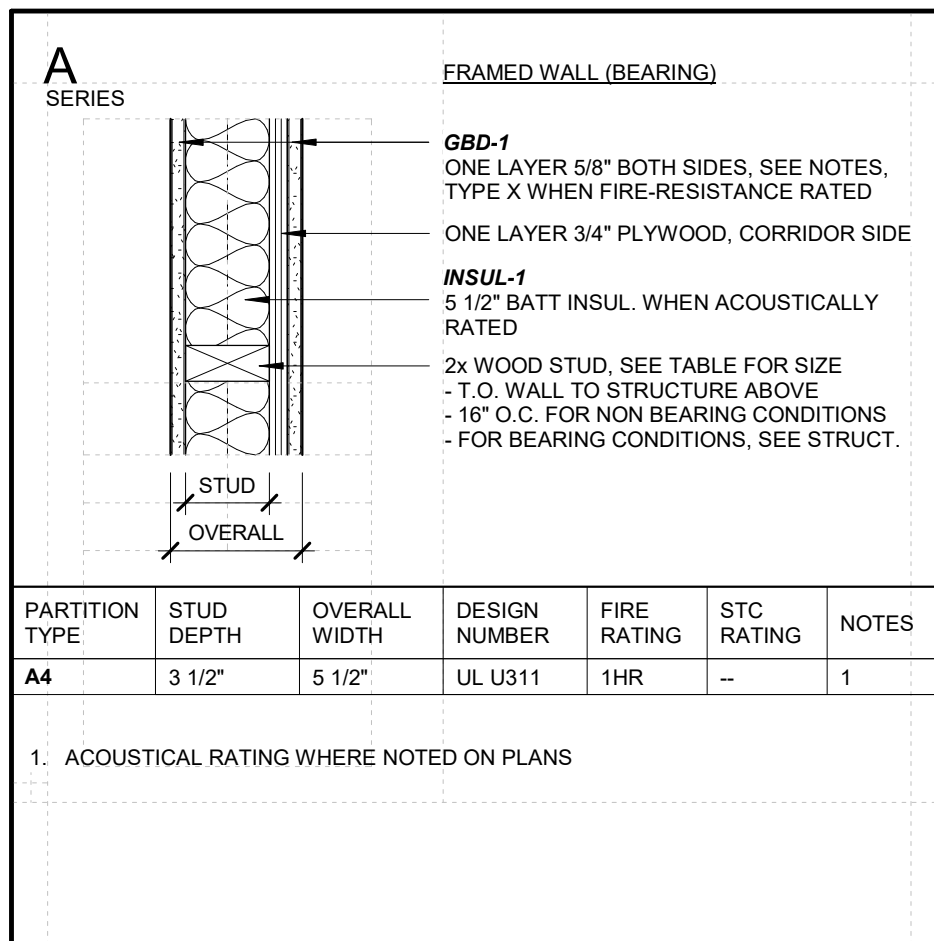
1. INTERIOR PARTITIONS TYPES SHALL BE INDICATED BY THIS SYMBOL.

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2. GAUGE AND SPACING OF METAL FRAMING SHALL BE BASED ON SPECIFIED PERFORMANCE REQUIREMENTS USING APPROPRIATE DEFLECTION LIMITS FOR EACH PARTITION SYSTEM. UNLESS NOTED OTHERWISE, ADJUST SPACING AND LOCATION OF FRAMING TO COORDINATE ATTACHMENT OF PARTITION FINISHES AND WALL-MOUNTED MILLWORK, FIXTURES, FURNISHINGS, AND EQUIPMENT.
3. TYPE "X" OR "C" GYPSUM BOARD REQUIRED AT FIRE RATED PARTITIONS ONLY.
4. STC RATINGS LISTED FOR EACH PARTITION TYPE INDICATE REPORTED ACOUSTICAL PERFORMANCE OF THE TESTED ASSEMBLY DESIGN SHOWN. EACH INCLUDES SOUND INSULATION AND FINISHES. PROVIDE THE SAME FOR ALL INDIVIDUAL ASSEMBLY DESIGNS FOR DETAILED CONSTRUCTION TECHNIQUE.
5. AT NON-RATED PARTITIONS IN ROOMS WITH FINISHED CEILINGS, EXTEND THE FULL ASSEMBLY TO 6" ABOVE CEILING AND BRACE FRAMING TO STRUCTURE UNLESS NOTED OTHERWISE.
6. AT NON-RATED PARTITIONS IN ROOMS WITHOUT CEILINGS, EXTEND THE FULL ASSEMBLY TO ROOF OR FLOOR DECK ABOVE WITH SUFFICIENT ALLOWANCE FOR DEFLECTION TO ELIMINATE CRUSHING OF PARTITION UNLESS NOTED OTHERWISE.
7. AT FIRE AND/OR ACOUSTICALLY RATED PARTITIONS, EXTEND THE FULL ASSEMBLY TO ROOF OR FLOOR DECK ABOVE WITH SUFFICIENT ALLOWANCE FOR DEFLECTION TO ELIMINATE CRUSHING OF PARTITION UNLESS NOTED OTHERWISE. PROVIDE 1/2" EDGE OF WALL JOINT TO MAINTAIN FIRE AND/OR ACOUSTICAL RATINGS OF THE PARTITION AND FLOOR OR ROOF ASSEMBLY.

8. AT FIRE AND/OR ACoustically RATED PARTITIONS, PENETRATIONS OF THE ASSEMBLY AND JOINTS AT INTERSECTIONS WITH ADJACENT BUILDING COMPONENTS SHALL BE CONSTRUCTION DETAILER'S SUBMITTED RECOMMENDATIONS OR AS DESCRIBED BY THE SPECIFIED THIRD-PARTY CERTIFIED PENETRATION TEST REPORT. PENETRATION BOXES A MINIMUM OF 2'-0" BETWEEN PENETRATIONS TO MAINTAIN RATING.
9. AT ACoustically RATED PARTITIONS, PROVIDE SOUND ATTENUATION BLANKET INSULATION FOR THE FULL-HEIGHT OF THE PARTITION UNLESS NOTED OTHERWISE.
10. AT LOCATIONS INDICATED TO RECEIVE TILE FINISHES, PROVIDE TILE BACKER BOARD IN LIEU OF TYPICAL WALL BOARD NOTED FOR THE PARTITION TYPE. INCLUDE TILE BACKER BOARD AND TILE FINISHES IN THE PARTITION TYPE ACoustical RATING NOTED FOR THE PARTITION TYPE.
11. PROVIDE BLOCKING AND FINISH BACKER SUPPORT FOR ATTACHMENT OF WALL-MOUNTED MILLWORK, FINISHES, FIXTURES, FURNISHINGS, AND EQUIPMENT. CONTACT LOCAL SUPPLIER FOR SCHEDULING, NOTING ARCHITECT OF CONDITIONS FOR SUPPLIED EQUIPMENT PRIOR TO CONSTRUCTION OF PARTITION. SEE FURNITURE PLAN FOR LOCATIONS OF FURNISHINGS THAT REQUIRE BLOCKING.
12. REFER TO STRUCTURAL DRAWINGS FOR INTERIOR STRUCTURAL PARTITIONS.
13. AT MASONRY PARTITIONS, PROVIDE A MINIMUM OF 1'-0" OF SOLID MASONRY BETWEEN PENETRATIONS UNLESS NOTED OTHERWISE.
14. AT NON-LOAD-BEARING MASONRY PARTITIONS, PROVIDE ANCHORS FASTENED TO STRUCTURE FOR LATERAL SUPPORT ALONG TOP OF PARTITION WITHOUT PROVIDING COMPRESSIVE LOADS. NOTING ARCHITECT OF CONDITIONS TO PREVENT ADEQUATE CONNECTION TO STRUCTURE PRIOR TO INSTALLATION.



## WALL TYPES - PARTITION

MATERIAL / PRODUCT ID LIST - SPEC DATA		
ID	DESCRIPTION	SPEC DATA
<b>CPT-1</b>	CARPETING, LIGHT GRAY	<p>MFR: INTERFACE;            COLLECTION: THIRD SPACE;            PRODUCT: THIRD SPACE 302;            COLOR: 107855 LINEN;            FIBER: 100% Recycled Content Nylon;            BACKING: COLLEST BIO GR;            SIZE: 50CM X 50CM;            INSTALL PATTERN: MONOLITHIC;            PILE THICKNESS: 0.16 in.            NOTE: Free of Added Heavy Metals, Formaldehyde, Fluorinated Chemicals (PFAS), and Halogenated Flame Retardants;            REMARKS: PROVIDE PRICING ALLOWANCE OF \$30/YD FOR MATERIAL COST;</p>
<b>GBD-1</b>	GYPSUM BOARD, TYPICAL	<p>PRODUCT: PAPER-FACED GYPSUM BOARD;            THICKNESS: 5/8" TYPICAL, UNO;</p>
<b>INSUL-1</b>	INSULATION, SOUND-ATTENUATION BATT/BLANKET	<p>PRODUCT: MINERAL-FIBER SOUND-ATTENUATION BLANKETS;            ASTM/TYPE: C665, TYPE I;            R-VALUE: N/A;            FACING: UNFACED;            VAPOR: PERMEABLE (MORE THAN 10 PERMS);            THICKNESS: SEE DRAWINGS;</p>
<b>LVT-1</b>	LUXURY VINYL TILE	<p>MFR: PURPOSE;            PRODUCT: XL FLOOR PLANK;            THICKNESS: 2.2 MM;            COLOR: ACOB9 PLO97U;            SIZE: 9.84" x 9.84";</p>
<b>MWA-1</b>	MILLWORK ACCESSORY, DRAWER/CABINET PULL	<p>MFR: DOUG MOCKET;            PRODUCT: MILLWORK DOOR &amp; DRAWER PULL;            MODEL: DP25A-5 3/8" LONG SLENDER BAR PULL;            SIZE: 5 1/4" CENTER TO CENTER;            FINISH: TBD BY OWNER;</p>
<b>PLAM-1</b>	PLASTIC LAMINATE	<p>PRODUCT: WILSONART;            FINISH: MATTE;            COLOR: MANTOBA MAPLE 7911-60;            DESCRIPTION: CABINETT;</p>
<b>PLAM-2</b>	PLASTIC LAMINATE	<p>PRODUCT: WILSONART;            FINISH: MATTE;            COLOR: BENJAMINE GREY 1887;            DESCRIPTION: COUNTERTOP;</p>

MATERIAL / PRODUCT ID LIST - SPEC DATA		
ID	DESCRIPTION	SPEC DATA
PLAM-3	PLASTIC LAMINATE	PRODUCT: WILSONART; FINISH: MATTE; COLOR: MANITOBA MAPLE 7911-60; DESCRIPTION: RECEPTION DESK AND MILLWORK;
PLAM-4	PLASTIC LAMINATE	PRODUCT: WILSONART; FINISH: MATTE; COLOR: 15504 CHARCOAL VELVET; DESCRIPTION: RECEPTION DESK COUNTERTOP;
PT-2	INTERIOR LATEX, EGGSHELL SHEEN	PRODUCT: INTERIOR LATEX PAINT; SHEEN: EGGSHELL; TYPE: INSTITUTIONAL LOW-ODOR VOC; MPI SYSTEM: PER SUBSTRATE. SEE SPEC; MPI TOPCOAT: 145 X-GREEN; COLOR: SEE PT LETTER.
PT-_A	PAINT COLOR, BEIGE	MFR: SHERWIN WILLIAMS; COLOR: BEIGE MATCH (CUSTOM);
PT-_B	PAINT COLOR, YELLOW ACCENT	MFR: SHERWIN WILLIAMS; COLOR: 6913 FUNKY YELLOW;
PT-_C	PAINT COLOR, BLUE ACCENT	MFR: SHERWIN WILLIAMS; COLOR: 6971 MORNING GLORY;
PT-_D	PAINT COLOR, WHITE TO MATCH EXISTING	MFR: SHERWIN WILLIAMS; COLOR: MATCH EXISTING CEILING COLOR AND FINISH;
RB-1	RESILIENT WALL BASE, GREY	MFR: FLEXCO; PRODUCT: TS WALLFLOWERS RUBBER; STYLE: WALL BASE; HEIGHT: 4"; COLOR: SMOKE GREY, TO MATCH EXISTING; STANDARD;

## MSRDesign

510 Marquette Avenue South, Suite 200  
Minneapolis, MN 55402 | 612 375 0336

### Structural Engineers

**MJ Structural Engineers**

5673 S Redwood Rd.  
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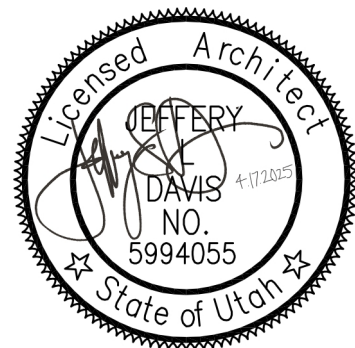
**UCA MILLCREEK HEAD  
START RENOVATION**

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## Architect Sea



**Signature**

Date	License No
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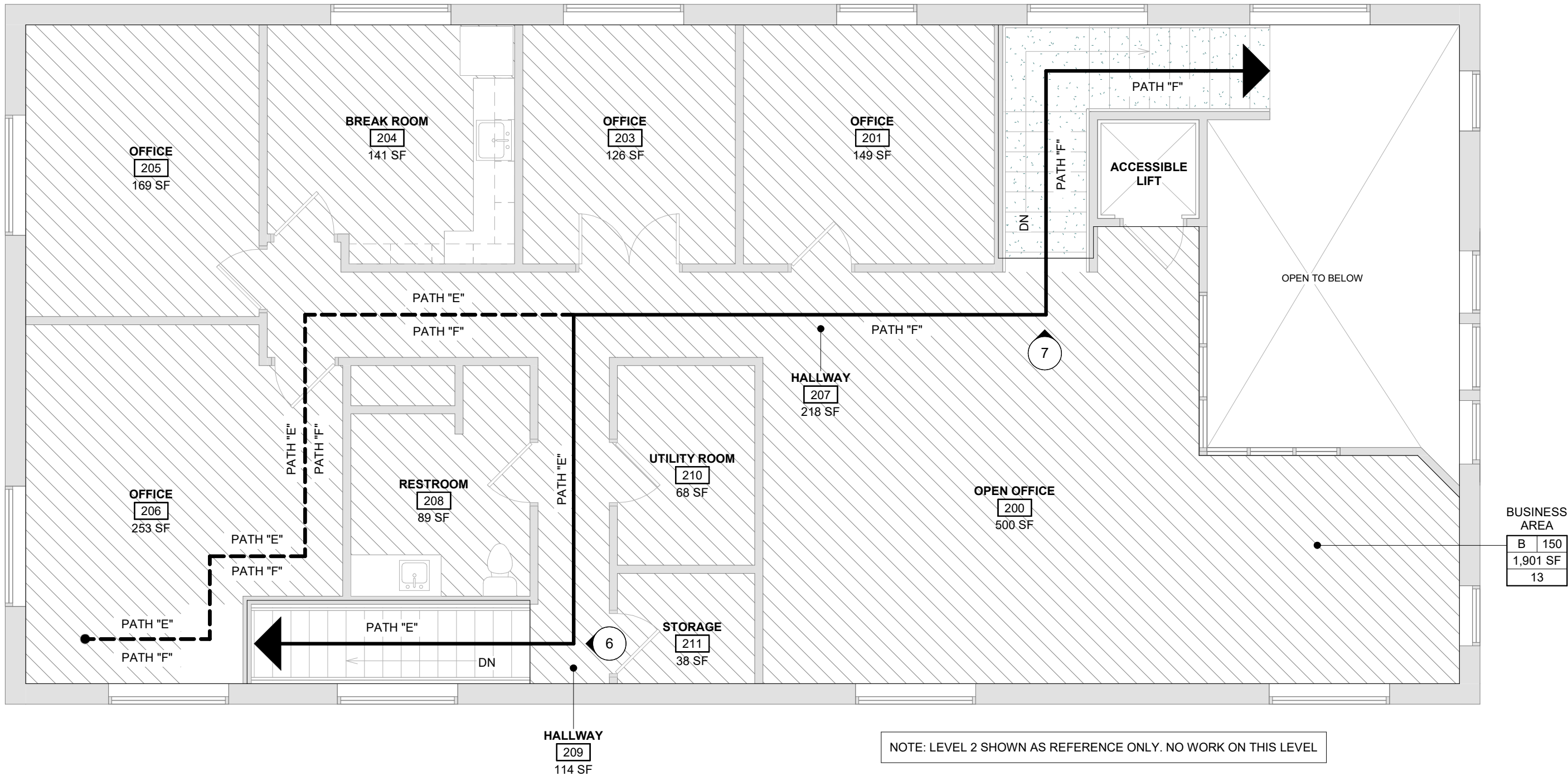
# MATERIAL ID LIST, TYPES AND SYSTEMS

# G001



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1 LEVEL 2 EGRESS PLAN  
G051 3/16" = 1'-0"  
NORTH



BUILDING AREA	
NAME	AREA
LEVEL 1	2,349 SF
LEVEL 2	2,097 SF
TOTAL BUILDING AREA	4,446 SF

EXIT ACCESS PATH DISTANCE	
PATH NAME	LENGTH
PATH "A" COMMON PATH	38' - 2"
PATH "A"	36' - 6"
PATH "A"	74' - 9"
PATH "B" COMMON PATH	38' - 2"
PATH "B"	14' - 7"
PATH "B"	52' - 9"
PATH "C" COMMON PATH	43' - 4"
PATH "C"	3' - 6"
PATH "C"	46' - 10"
PATH "D" COMMON PATH	43' - 4"
PATH "D"	47' - 7"
PATH "D"	90' - 11"
PATH "E" COMMON PATH	40' - 6"
PATH "E"	42' - 4"
PATH "E"	82' - 10"
PATH "F" COMMON PATH	40' - 6"
PATH "F"	59' - 7"
PATH "F"	100' - 0"

BUILDING CODE SYMBOLS KEY	
FE FIRE EXTINGUISHER	
DESIGNATED EXIT	
ACCESSIBLE MEANS OF EGRESS	ACCESSIBLE COMPONENT
EGRESS TRAVEL PATH	
COMMON PATH OF EGRESS TRAVEL PATH	
DIAGONAL / EXIT SEPARATION LINE - REQUIRED	
DIAGONAL / EXIT SEPARATION LINE - PROVIDED	
1 HOUR RATED FIRE WALL	
2 HOUR RATED FIRE WALL	
SMOKE RATED WALL	
FUNCTION OF SPACE	
OCCUPANCY TYPE	OCC. LOAD FACTOR
SQUARE FEET	
# OF OCCUPANTS	
EXIT DOOR NUMBER	
REQUIRED WIDTH IN INCHES	
PROVIDED WIDTH IN INCHES	
NUMBER OF OCCUPANTS THROUGH	
FACTOR THAT IS USED TO DETERMINE REQD WIDTH	
STAIR NUMBER	
REQUIRED WIDTH IN INCHES	
PROVIDED WIDTH IN INCHES	
NUMBER OF OCCUPANTS THROUGH	
STAIRS SERVE WHICH LEVELS	
FACTOR THAT IS USED TO DETERMINE REQD WIDTH	

BUILDING CODE SUMMARY

APPLICABLE CODES	
2021 International Existing Building Code	(verify with local authority)
2021 International Energy Conservation Code	(verify with local authority)
2021 International Mechanical Code	(verify with local authority)
2021 International Plumbing Code	(verify with local authority)
2021 International Fuel Gas Code	(verify with local authority)
2020 National Electrical Code	(verify with local authority)
2009 ANSI 117	(verify with local authority)
PROPOSED BUILDING SUMMARY	
Type of Construction	Type V-B
Automatic Sprinkler System	Existing Sprinkler System is Provided
Building Height	35' (Approx); 2 stories above grade
Building Area	See "BUILDING AREA" Schedule
USE AND OCCUPANCY CLASSIFICATION (Chapter 3)	
Business Use, including small Storage and Conference spaces (Sections 303.1, 303.1.2, and 304.1)	B
Educational Use (Section 305.2)	E
- Child Care Facilities using 35 net Occupant Load Factor	
GENERAL BUILDING HEIGHTS AND AREA (Chapter 5)	
Building Height - Allowable (Section 504)	
- Height limitations for "occupancy type" (Table 504.3)	60 feet
- Story limitations for "occupancy type" (Table 504.4)	2 stories
TYPES OF CONSTRUCTION (Chapter 6)	
Fire-Resistance Rating Requirements for Building Elements (Table 601)	
- Structural frame	0 HR
- Bearing walls (Exterior)	0 HR
- Bearing walls (Interior)	0 HR
- Nonbearing walls and partitions (Exterior)	See below
- Nonbearing walls and partitions (Interior)	0 HR
- Floor construction (Including supporting beams and joists)	0 HR
- Roof construction (Including supporting beams and joists)	0 HR
FIRE-RESISTANCE RATED CONSTRUCTION (Chapter 7)	
Maximum Area of Exterior Wall Openings (Table 705.8)	
- Fire separation distance	20 feet or greater
- Degree of Opening Protection	Unprotected; Nonsprinklered
- Allowable	No Limit
MEANS OF EGRESS (Chapter 10)	
Occupant Load (Section 1004)	
- See Code Plans for Occupant Loads for each story and space	

OCCUPANT LOAD SUMMARY PER LEVEL				
OCCUPANCY TYPE	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR 1/PER	AREA	OCCUPANT LOAD
LEVEL 1				
B	BUSINESS AREA	150/GROSS	438 SF	4
E	DAYCARE	35/NET	1,408 SF	43
			1,906 SF	47
LEVEL 2				
B	BUSINESS AREA	150/GROSS	1,901 SF	13
			1,901 SF	13
GRAND TOTAL			3,807 SF	60

REQUIRED PLUMBING FIXTURES TOTAL - B OCCUPANCY							
OCCUPANCY TYPE	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS
B			MALE	FEMALE	MALE	FEMALE	
B	BUSINESS	17	0.34	0.34	0.21	0.21	0.17
		17	0.34	0.34	0.21	0.21	0.17
GRAND TOTAL		17	0.34	0.34	0.21	0.21	0.17

REQUIRED PLUMBING FIXTURES TOTAL - E OCCUPANCY							
OCCUPANCY TYPE	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAINS
E			MALE	FEMALE	MALE	FEMALE	
E	EDUCATIONAL	43	0.43	0.43	0.43	0.43	0.43
		43	0.43	0.43	0.43	0.43	0.43
GRAND TOTAL		43	0.43	0.43	0.43	0.43	0.43

PROVIDED PLUMBING FIXTURES							
LEVEL	WATER CLOSETS			LAVATORIES			DRINKING FOUNTAINS
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX	
LEVEL 1	0	0	3	0	0	4	0
LEVEL 2	0	0	1	0	0	1	0
TOTAL	0	0	4	0	0	5	0

Architecture and Interiors

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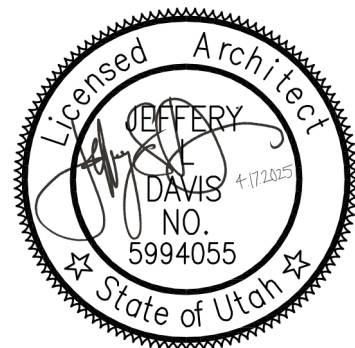
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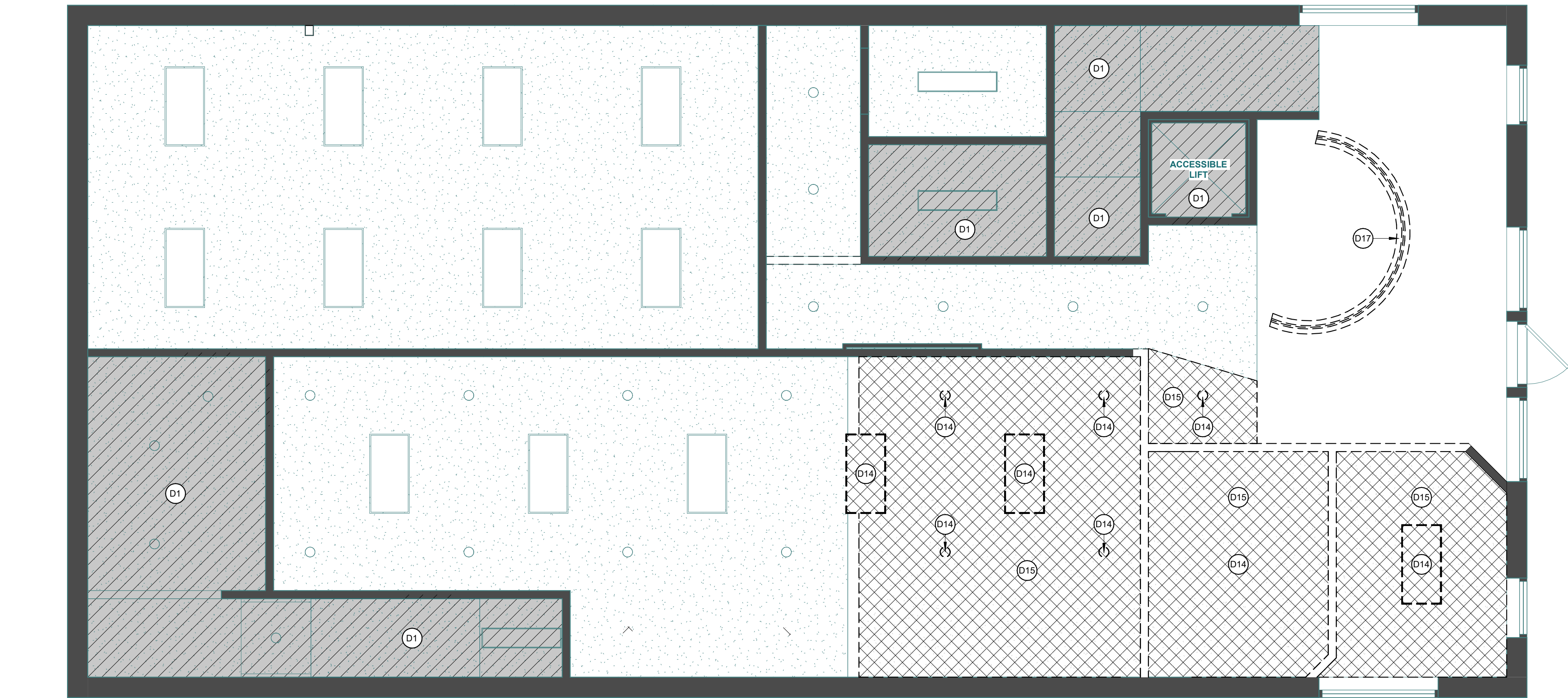
BUILDING CODE  
SUMMARY

G051



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 **1 LEVEL 1 DEMOLITION FLOOR PLAN**  
A101 1/4" = 1'-0"



 **2 LEVEL 1 DEMOLITION REFLECTED CEILING PLAN**  
A101 1/4" = 1'-0"

#### DEMOLITION GENERAL NOTES

NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN ON PLANS.

PROVIDE DUSTPROOF PARTITIONS AS REQUIRED TO ACCOMPLISH WORK WITH MINIMUM DISTURBANCE TO FUNCTIONS OF ADJACENT AREAS.

THE CONTRACTOR SHALL PROTECT THE EXISTING CONDITION DURING CONSTRUCTION. ANY EXISTING CONDITION DAMAGED AS A RESULT OF THE WORK SHALL BE REPAIRED TO AN EXTENT AND AS REQUIRED TO MATCH ADJACENT.

MAINTAIN ALL EXISTING SERIES IN ADJACENT AREAS OF THE BUILDING DURING THE PROJECT. MAINTAIN ALL EGRESS AND FIRE PROTECTION REQUIREMENTS.

GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK, PHASING, AND SEQUENCING WITH THE OWNER.

COORDINATE DEMOLITION SCOPE WITH STRUCTURAL.

MOUNTING DEVICES, MISCELLANEOUS AND UNUSED ACCESSORIES, WIRES AND FASTENERS TO BE REMOVED BY DEMOLITION CONTRACTOR. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO VERIFY EXTENT OF REQUIRED DEMOLITION & PREPARATION WORK.

ALL DIMENSIONS SHOWN REPRESENT INTENT. ACTUAL DIMENSIONS NEED TO BE VERIFIED IN FIELD.

COORDINATE WITH OWNER/LANDLORD ALL ITEMS TO BE SALVAGED PRIOR TO THE BEGINNING OF DEMOLITION.

ALL ITEMS NOTED TO BE SALVAGED AND REMOVED ARE TO BE PROTECTED FROM DAMAGE DURING REMOVAL AND STORED IN A PROTECTED LOCATION FOR REUSE.

WHERE DEMOLITION HAS OCCURRED, AND NEW CONSTRUCTION IS NOT REQUIRED, PATCH AND REPAIR REMAINING SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES.

WHERE PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE PARTITION WITH ALL ITEMS CONTAINED WITHIN, INCLUDING BUT NOT LIMITED TO: DOORS, FRAMES, HARDWARE, SIDELITES, WINDOWS, MECHANICAL AND ELECTRICAL EQUIPMENT, RECEPTACLES, LOW VOLTAGE WIRING AND DEVICES, ETC. REMOVE TO STRUCTURE ABOVE OR TO NEAREST JUNCTION BOX.

CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO PATCH AND REPAIR ALL FINISHES TO LIKE NEW CONDITION, TO MATCH EXISTING ADJACENT, WHERE IMPACTED BY NEW WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATIONS AND MODIFICATIONS.

CONTRACTOR RESPONSIBLE TO COORDINATE ALL DEMOLITION WORK REQUIRED FOR NEW WORK.

OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF ALL SALVAGED ITEMS, INCLUDING BUT NOT LIMITED TO: LIGHT FIXTURES, PLUMBING FIXTURES, HARDWARE, ETC. SALVAGED ITEMS SCHEDULE FOR REUSE SHALL BE CLEANED, RESTORED AND/OR REFINISHED TO LIKE NEW CONDITION, UNLESS NOTED OTHERWISE.

WHERE FLOORING IS TO BE REMOVED, REMOVE ALL MATERIAL TO EXPOSE SUBSTRATE BELOW. REMOVE ALL RELATED CONSTRUCTION ADHESIVES OR FASTENERS AND PREPARE FLOOR FOR NEW FINISH.

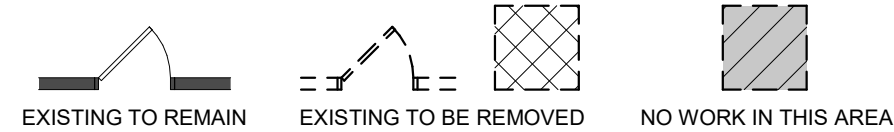
ALL LOOSE DEBRIS, STICKERS, LETTERS AT COLUMNS, EXTRANEIOUS HANGERS, MOUNTING DEVICES, MISCELLANEOUS AND UNUSED ACCESSORIES, WIRES, AND FASTENERS ARE TO BE REMOVED BY THE DEMOLITION CONTRACTOR.

SEE MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION AND NEW CONSTRUCTION PLANS FOR MORE INFORMATION.

#### DEMOLITION KEYNOTES

- D1 NO WORK IN THIS AREA.
- D2 REMOVE EXISTING WALL AND ASSOCIATED COMPONENTS, PATCH NEWLY EXPOSED SURFACES AS NEEDED FOR NEW FINISHES.
- D3 REMOVE AND SALVAGE EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- D4 REMOVE AND SALVAGE EXISTING DOOR & SIDELITE, FRAME, AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- D5 REMOVE AND SALVAGE EXISTING DOOR & SIDELITE, FRAME, AND ASSOCIATED HARDWARE FOR RE-USE WITHIN PROJECT.
- D6 REMOVE EXISTING WINDOW AND FRAME.
- D7 REMOVE EXISTING CASEWORK / MILLWORK, AND COUNTERTOP. REMOVE ALL ASSOCIATED EQUIPMENT, BASE, AND UPPER CABINETS. PREPARE WALL, CEILING, AND FLOOR TO RECEIVE NEW FINISHES.
- D8 REMOVE EXISTING RECEPTION DESK, MILLWORK, COUNTERTOP, AND ALL ASSOCIATED HARDWARE. PREPARE FLOOR AND ADJACENT WALLS TO RECEIVE NEW FINISHES.
- D9 REMOVE EXISTING FLOORING AS INDICATED. PREPARE FLOOR FOR NEW FINISH.
- D10 REMOVE AND SALVAGE EXISTING SINK FOR RE-USE WITHIN PROJECT.
- D11 REMOVE EXISTING TACKBOARD AND ASSOCIATED HARDWARE. PATCH/REPAIR WALLS TO RECIEVE NEW FINISHES.
- D12 REMOVE EXISTING TALL STORAGE CASEWORK/MILLWORK AND ASSOCIATED HARDWARE. PATCH/REPAIR FLOOR AND WALLS TO RECIEVE NEW FINISHES.
- D13 REMOVE EXISTING TOILET AND ASSOCIATED HARDWARE.
- D14 REMOVE EXISTING LIGHT FIXTURE. COORDINATE EXTENTS AND SCOPE WITH ELECTRICAL.
- D15 REMOVE EXISTING GYPSUM CEILING SYSTEM, GRILLES, AND ACCESS PANELS WHERE OCCUR. RETAIN & PROTECT EXISTING FIRE SPRINKLER SYSTEM AND HEADS.
- D16 EXISTING FLOORING AND BASE TO REMAIN.
- D17 REMOVE EXISTING PENDANT LIGHT FIXTURES AND CABLES FROM SECOND LEVEL CEILING ABOVE. COORDINATE EXTENTS AND SCOPE WITH ELECTRICAL.
- D18 REMOVE AND SALVAGE EXISTING FIRE ALARM PULL AND HORN STROBE FOR RE-USE WITHIN PROJECT.
- D19 REMOVE AND SALVAGE EXISTING BASE CABINETS FOR RE-USE WITHIN PROJECT. RE-FINISH CABINET MATERIAL TO MATCH NEW CONSTRUCTION.
- D20 REMOVE AND SALVAGE EXISTING BULLETIN BOARD AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- D21 EXISTING BULLETIN BOARD TO REMAIN.
- D22 EXISTING FIRST AID KIT TO REMIAN.

#### DEMOLITION SYMBOLS LEGEND



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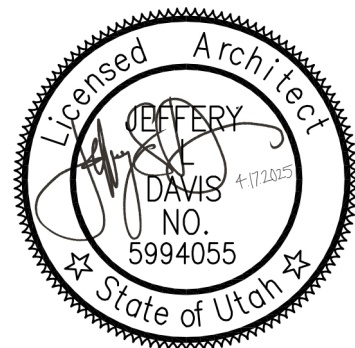
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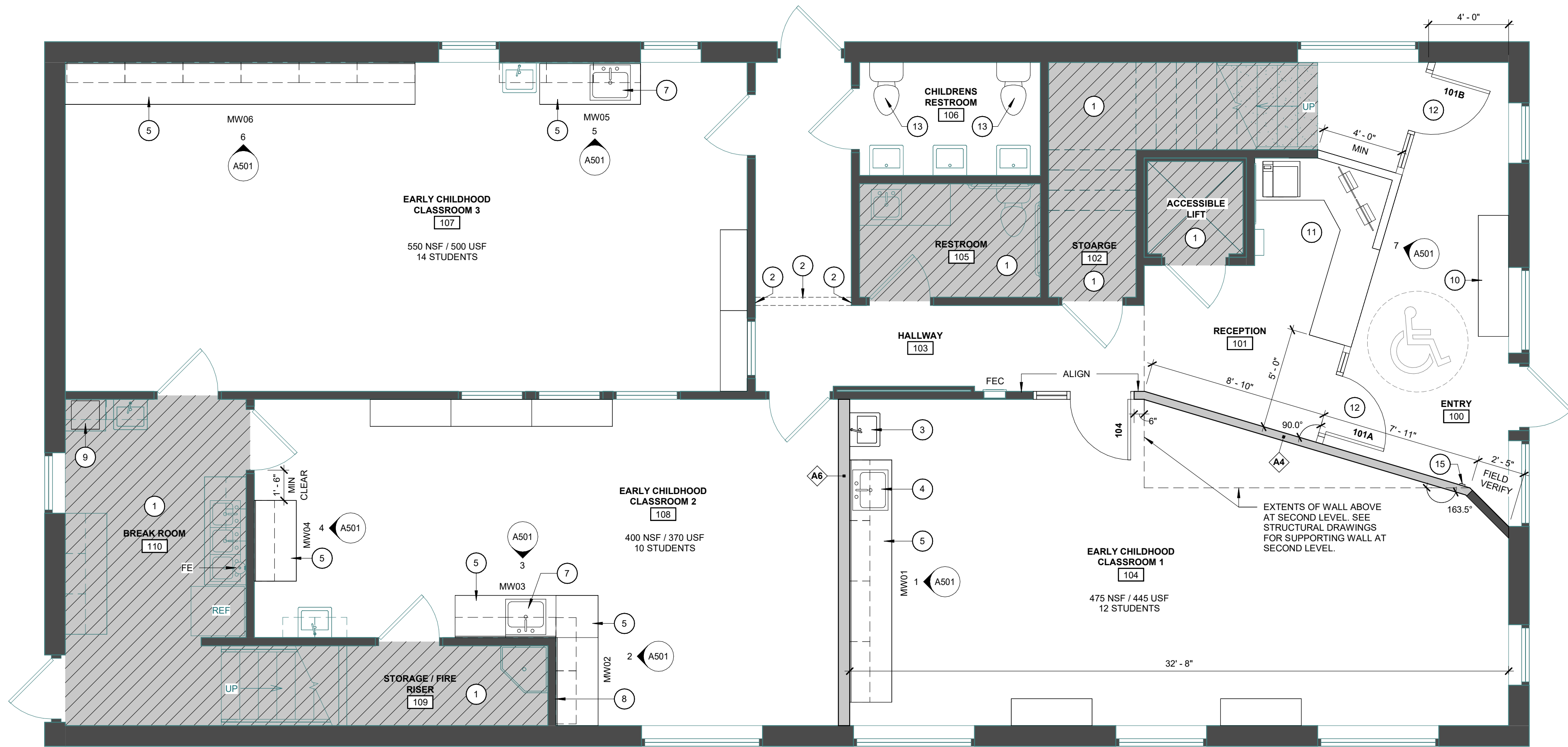
**LEVEL 1 DEMOLITION  
FLOOR AND  
REFLECTED CEILING  
PLAN**

**A101**



Drawing: 2025 Project: UCA Mill Creek Head Start Renovation, LLC  
4/23/2025 11:33:14 AM  
Autodesk Docs: 20250099 C1 Mill Creek Renovation/20250099 C1 Architectural 14

 **1 LEVEL 1 FLOOR PLAN**  
A121 1/4" = 1'-0"



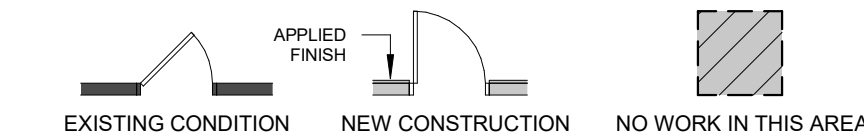
#### GENERAL NOTES

1. ALL DESIGN AND CONSTRUCTION IS TO FOLLOW LOCAL JURISDICTIONS AND BUILDING CODE REQUIREMENTS.
2. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO THOROUGHLY REVIEW ALL DRAWINGS AND SPECIFICATIONS PRIOR TO WORK. VERIFY ALL EXISTING FIELD CONDITIONS AND NOTIFY ARCHITECT WHEN DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS CREATE A CONFLICT.
3. REFER TO PROJECT MANUAL FOR INFORMATION ON MATERIAL AND FINISH TAGS IN DRAWINGS.
4. AREAS DISTURBED BY REMOVAL OF EXISTING CONSTRUCTION ARE TO BE PATCHED & FINISHED TO MATCH SURROUNDING FINISH OR PREPARED TO RECEIVE NEW FINISH.
5. SEE SHEET G002 FOR TYPICAL INTERIOR PARTITION TYPES AND ASSEMBLIES.
6. DIMENSIONS ARE FROM FINISH FACE OF WALL, U.N.O.
7. FACE OF WALL FINISHES TO ALIGN WITH ADJACENT WALL FINISHES WHEN WALL CONTINUITY IS BROKEN BY HALLWAY, CASEWORK, ETC.
8. ALL WALL FINISHES TO BE ADDED ON TOP OF WALL ASSEMBLY.
9. ALL FLOOR MATERIAL TRANSITIONS TO BE FLUSH, U.N.O.
10. PROVIDE IN-WALL BLOCKING FOR ALL CASEWORK, FIXTURES, TOILET ACCESSORIES, SUPPORTS, SHELVING, ETC.
11. MECHANICAL, ELECTRICAL, PLUMBING, LOW VOLTAGE, AND OTHER DISCIPLINES/TRADES ELEMENTS ARE SHOWN FOR COORDINATION ONLY. REFER TO RESPECTIVE DISCIPLINE DRAWINGS FOR MORE INFORMATION.
12. ALL NEW WALLS EXTEND TO STRUCTURE ABOVE, UNLESS HEIGHT NOTED OTHERWISE. GYPSUM BOARD AND ANY ACOUSTIC INSULATION TO EXTEND FULL HEIGHT. NOTIFY ARCHITECT AND MECHANICAL ENGINEER IF ANY CONFLICTS ARISE WITH EQUIPMENT AND DUCTS.
13. WHERE NEW WORK INTERSECTS ANY FIRE RATED ASSEMBLIES, MAINTAIN THE EXISTING FIRE RATING.

#### GENERAL KEYNOTES

- 1 NO WORK IN THIS AREA.
- 2 PATCH AND REPAIR FLOOR AND WALLS WHERE PARTITION WALL WAS REMOVED. FINISH TO MATCH EXISTING.
- 3 PROVIDE AND INSTALL NEW HAND WASHING SINK WITH EJECTION PUMP UP AND OVER EXISTING HALLWAY. MATCH EXISTING TYPE AND FIXTURE.
- 4 PROVIDE AND INSTALL NEW SINK WITH EJECTION PUMP UP AND OVER EXISTING HALLWAY. MATCH EXISTING TYPE AND FIXTURE.
- 5 PROVIDE AND INSTALL NEW COUNTERTOP AND MILLWORK.
- 6 PROVIDE NEW DOOR AND FRAME. MATCH EXISTING.
- 7 RE-INSTALL SALVAGED SINK. PROVIDE AND INSTALL NEW FAUCET.
- 8 PATCH AND REPAIR FLOOR AND WALLS WHERE CASEWORK/MILLWORK WAS REMOVED. FINISH TO MATCH EXISTING.
- 9 NEW COUNTERTOP DISHWASHER. OWNER PROVIDED, G.C. INSTALLED.
- 10 RELOCATED EXISTING BENCH.
- 11 PROVIDE AND INSTALL NEW RECEPTION DESK, RE-FINISHED BASE CABINETS, AND COUNTERTOP.
- 12 PROVIDE AND INSTALL NEW FULL HEIGHT GLASS STOREFRONT SYSTEM AND DOOR. DOOR HARDWARE TO INCLUDE PUNCH CODE AT ENTRY AND ACCESS READER TIED TO BUZZER AT RECEPTION DESK FOR QUICK RELEASE.
- 13 PROVIDE AND INSTALL NEW 10" HIGH TOILET FIXTURE.
- 14 RE-INSTALL SALVAGED DOOR AND SIDELITE. RE-INSTALL EXISTING DOOR HARDWARE IF ACCEPTABLE, IF NOT PROVIDE AND INSTALL NEW DOOR HARDWARE SET. MATCH EXISTING.
- 15 RE-INSTALL AND REPOSITION SALVAGED FIRE ALARM PULL AND HORN STROBE. TIE INTO EXISTING FIRE ALARM/PROTECTION SYSTEM.

#### WALL / PARTITION LEGEND



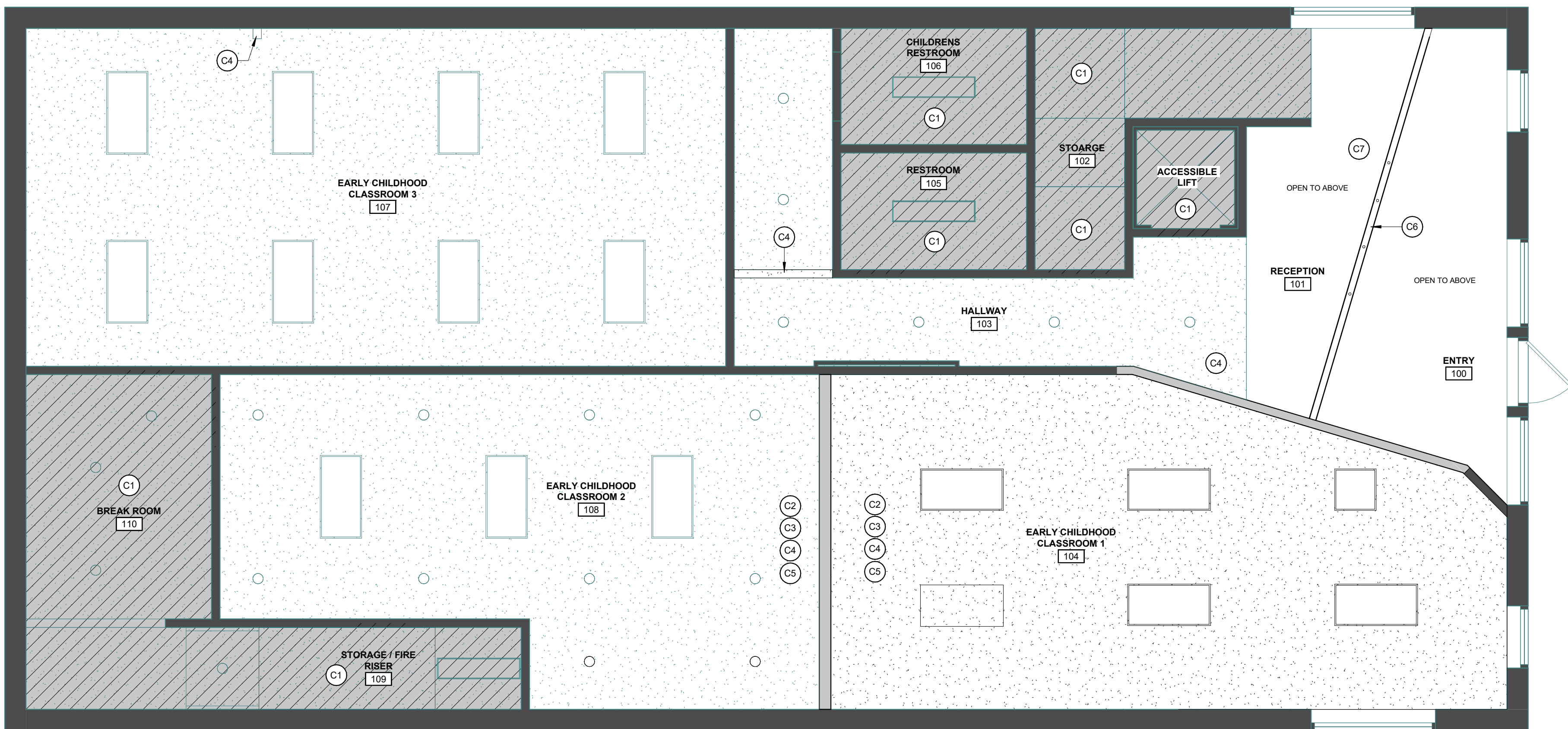
#### GENERAL REFLECTED CEILING PLAN NOTES

1. LIGHTING SYMBOLS ON THIS DRAWING INDICATE PRESENCE OF FIXTURE FOR COORDINATION PURPOSE ONLY. SEE LIGHTING DRAWINGS FOR DETAILS AND DIMENSIONING.
2. MEP ON THIS DRAWING INDICATE PRESENCE OF MEP DEVICE FOR COORDINATION. SEE MECHANICAL DRAWINGS FOR ADDITIONAL DETAILS.
3. REFER TO THE FINISH PLANS FOR PAINT FINISH AND COLOR TO DRYWALLS, CEILINGS, BULKHEADS, AND EXPOSED STRUCTURE WHERE APPLICABLE.
4. ALL EXPOSED SPRINKLER PIPES AND SPRINKLER HEAD LOCATIONS NEED TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION VIA SHOP DRAWING AND SITE VISIT PROCESS.
5. ALL SPRINKLER HEADS ARE TO MATCH EXISTING U.N.O.
6. LIGHT FIXTURES ARE SHOWN FOR REFERENCE ONLY. SEE LIGHTING PLAN SHEETS FOR ADDITIONAL INFORMATION.

#### REFLECTED CEILING PLAN KEYNOTES

- C1 NO WORK IN THIS AREA.
- C2 GYPSUM BOARD CEILING TYPE TO MATCH EXISTING. VERIFY IN FIELD.
- C3 CEILING HEIGHT TO BE 8'-0" U.N.O. TO MATCH EXISTING. VERIFY IN FIELD.
- C4 PATCH AND REPAIR CEILING WHERE PARTITION WALL WAS REMOVED. FINISH TO MATCH EXISTING.
- C5 MODIFY EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED PER NEW MODIFIED FLOOR AND CEILING PLANS. REPLACE SPRINKLER HEADS WITH SAME HEAD TYPE AS EXISTING.
- C6 HEADER ABOVE ALUMINUM STOREFRONT SYSTEM. SEE ELEVATIONS.
- C7 PATCH AND REPAIR AREA WHERE LIGHT FIXTURE CABLES FROM CEILING LEVEL ABOVE WERE REMOVED. FINISH AND PAINT TO MATCH EXISTING.

 **2 LEVEL 1 REFLECTED CEILING PLAN**  
A121 1/4" = 1'-0"



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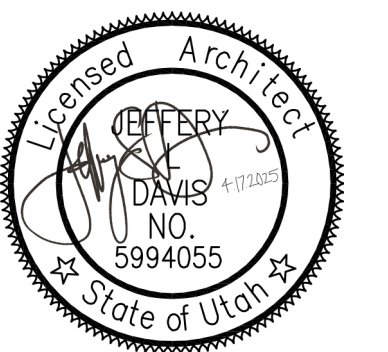
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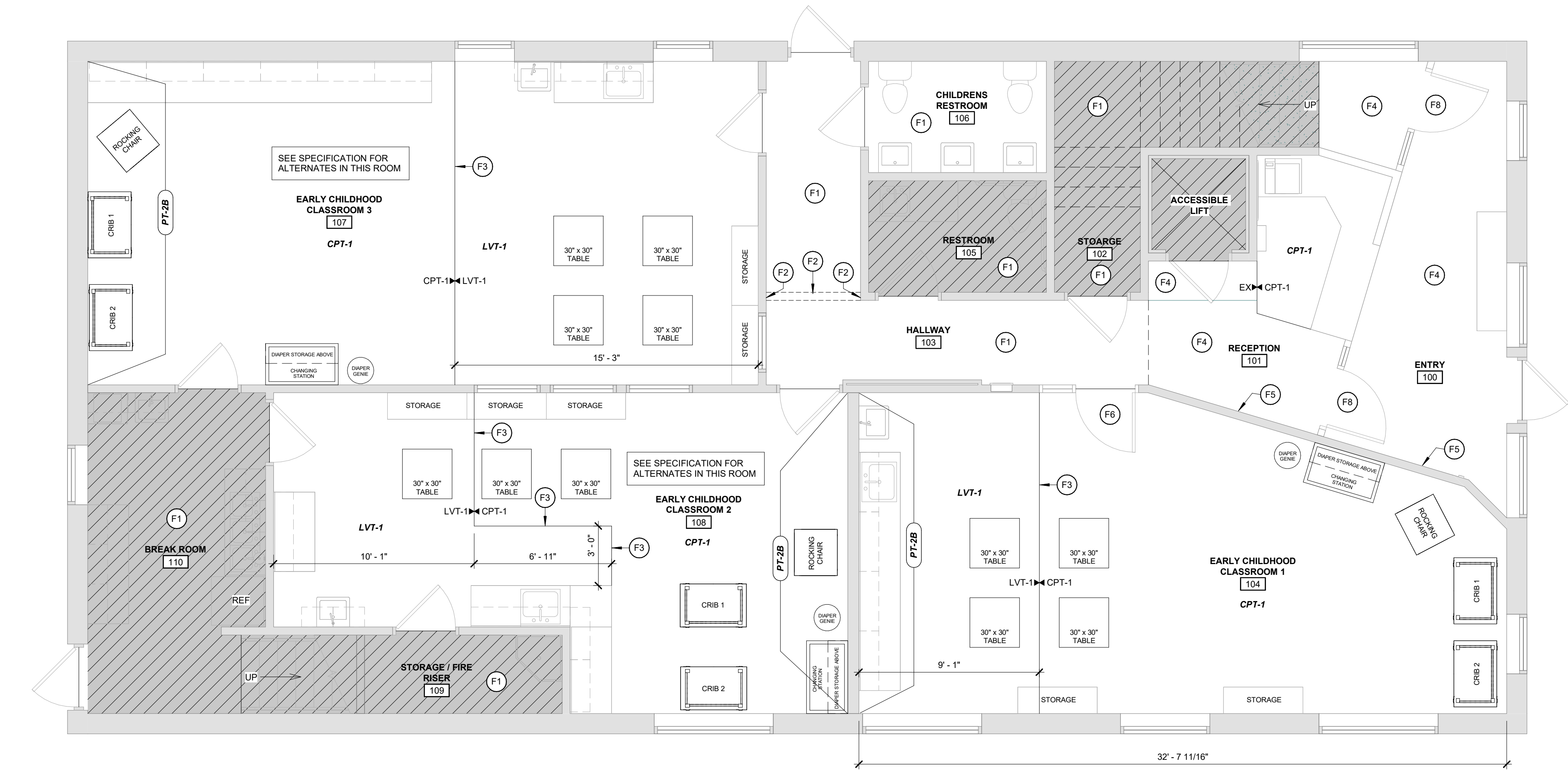
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**LEVEL 1 FLOOR AND  
REFLECTED CEILING  
PLAN**

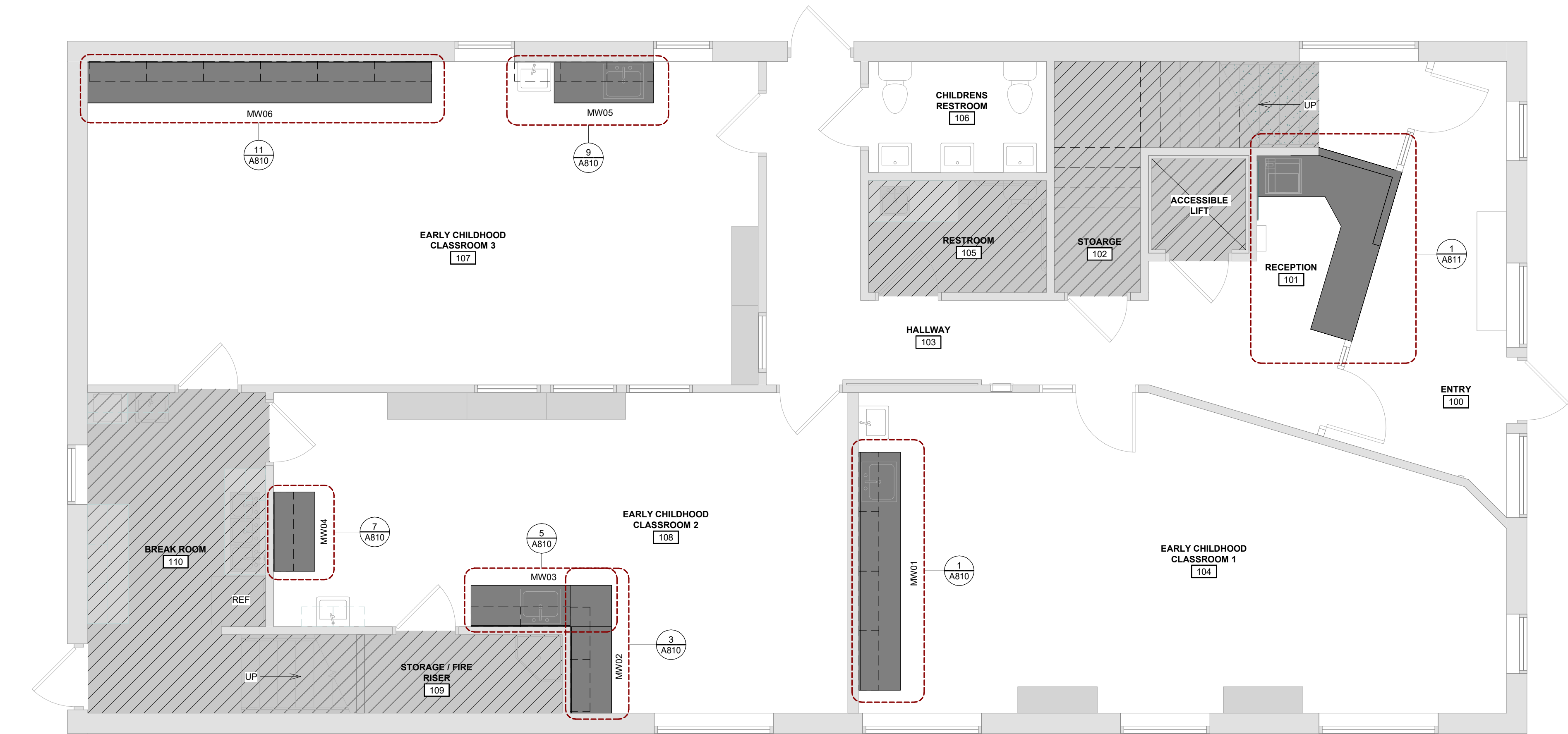
**A121**





1 LEVEL 1 FINISH & FURNITURE PLAN  
A131 1/4" = 1'-0"

FURNITURE PROVIDED BY OWNER IS SHOWN FOR REFERENCE ONLY



2 LEVEL 1 MILLWORK PLAN  
A131 1/4" = 1'-0"

#### FINISH PLAN KEY

FLOOR FINISH	WALL FINISH
CPT-1 A	PT-1 A
STYLE COLOR	STYLE/ COLOR FINISH

#### FINISH GENERAL NOTES

- SEE PROJECT MANUAL SPECIFICATION FOR KEY TO FINISH CODES.
- COORDINATE EXTENT OF FLOOR AND WALL FINISHES WITH MILLWORK DRAWINGS.
- ALL PATCHED OR REPAIRED GWB CEILINGS TO BE PAINTED TO MATCH EXISTING U.N.O.
- ALL HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED TO MATCH EXISTING U.N.O. SEE SPECIFICATION.
- INSTALLER RESPONSIBLE FOR FIELD VERIFYING ALL QUANTITIES, DIMENSIONS AND CONDITIONS FOR WINDOW TREATMENTS. ALL SHADES SHALL BE FULL WIDTH WITH NO SEAMS OR BATTENS. INSTALLER RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS FOR APPROVAL.
- OWNER SHALL APPROVE ALL PAINT COLORS AND LOCATION PRIOR TO NEW CONSTRUCTION.

#### FINISH KEYNOTES

- F1 NO WORK IN THIS AREA.
- F2 PATCH AND REPAIR FLOOR AND WALLS WHERE PARTITION WALL WAS REMOVED. FINISH TO MATCH EXISTING.
- F3 PROVIDE AND INSTALL VINYL TRANSITION STRIP.
- F4 EXISTING FLOOR FINISHES TO REMAIN.
- F5 PROVIDE AND INSTALL WOOD BASE TO MATCH EXISTING.
- F6 PAINT DOOR FRAME TO MATCH EXSITING.
- F7 PROVIDE AND INSTALL RESILIENT WALL BASE. MATCH EXSITING.
- F8 PAINT ALUMINUM STOREFRONT SYSTEM, DOORS, AND HEADER ABOVE TO MATCH EXISTING BUILDING STOREFRONT.

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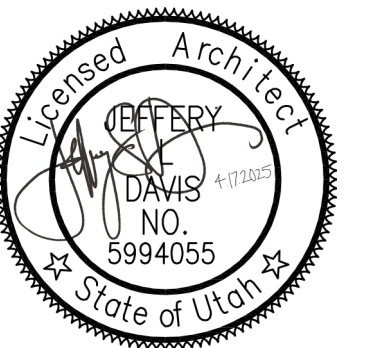
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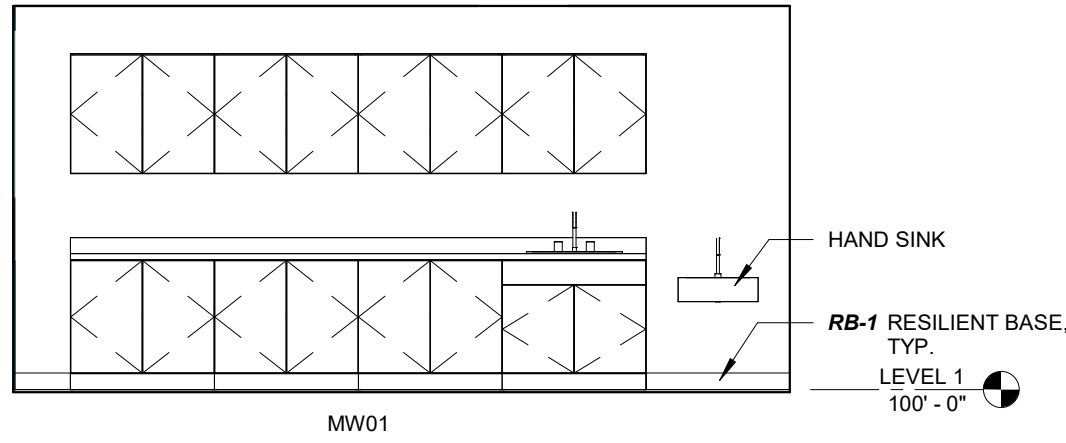
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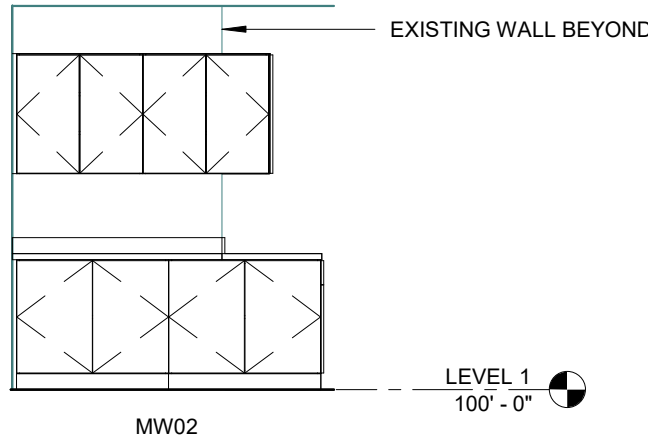
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LEVEL 1 FINISH &  
FURNITURE, AND  
MILLWORK PLAN

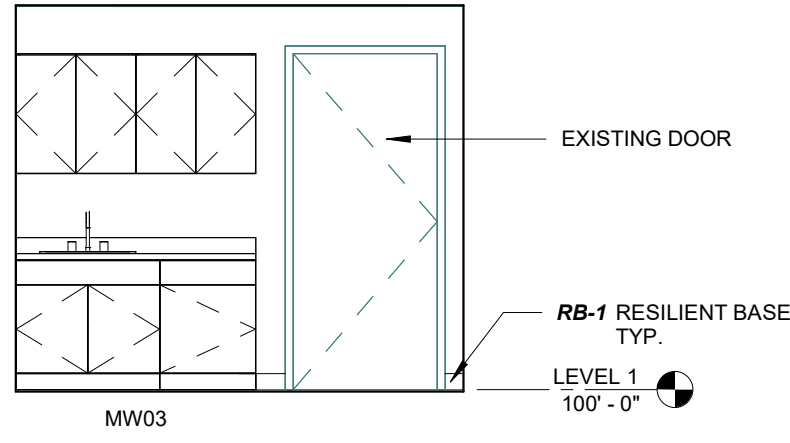
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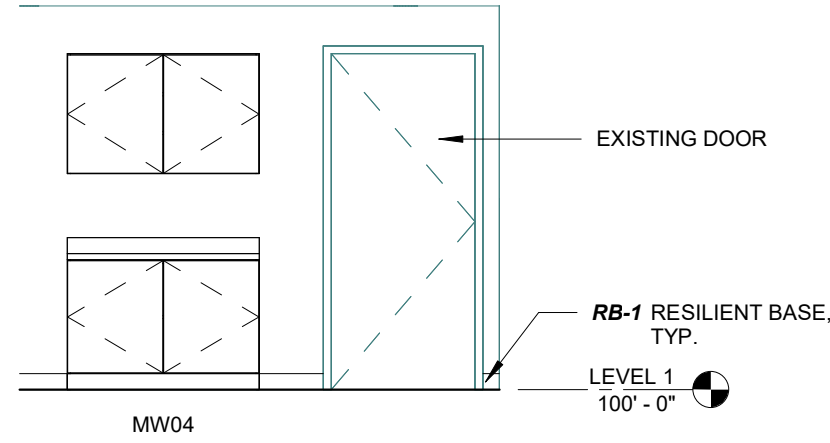
1 EARLY CHILDHOOD CLASSROOM 1 - ELEVATION  
A501 1/4" = 1'-0"



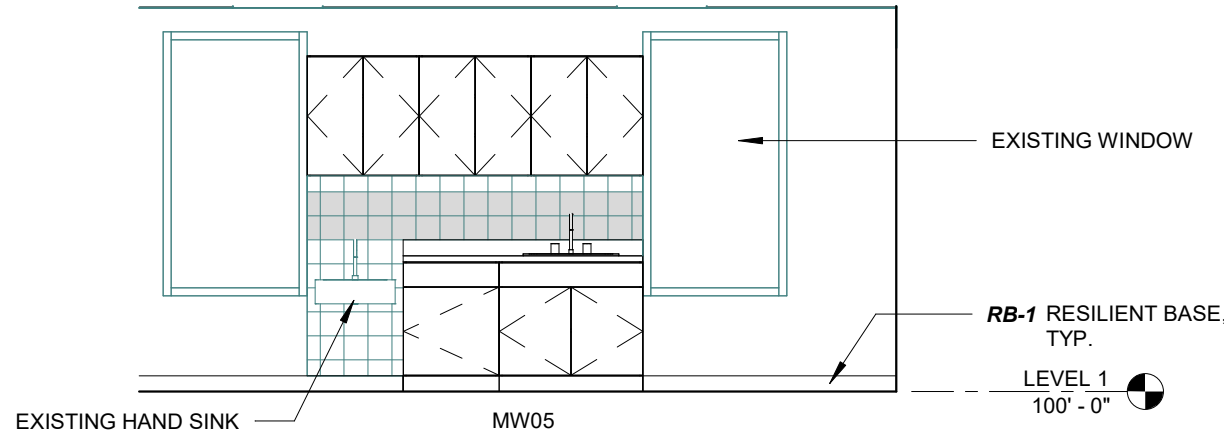
2 EARLY CHILDHOOD CLASSROOM 2 - ELEVATION  
A501 1/4" = 1'-0"



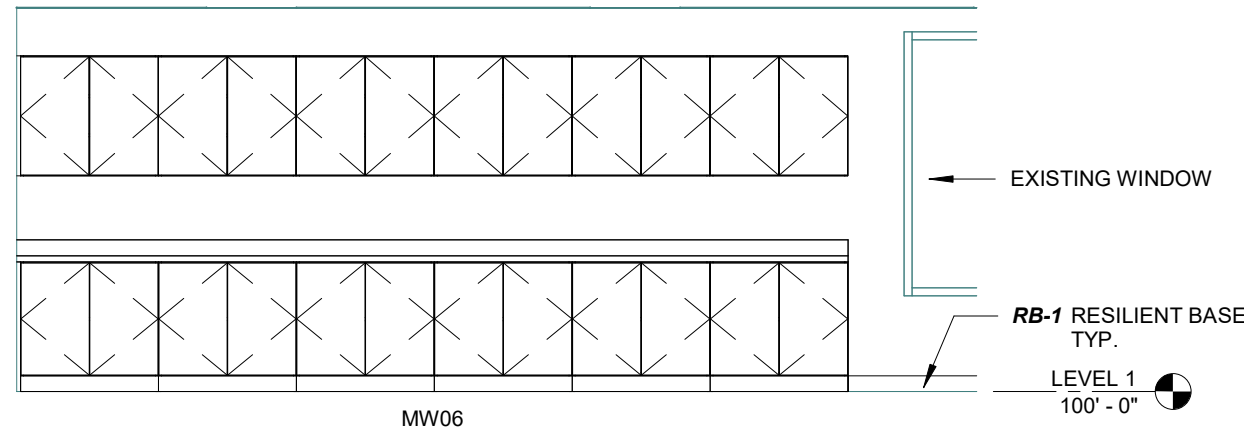
3 EARLY CHILDHOOD CLASSROOM 2 - ELEVATION  
A501 1/4" = 1'-0"



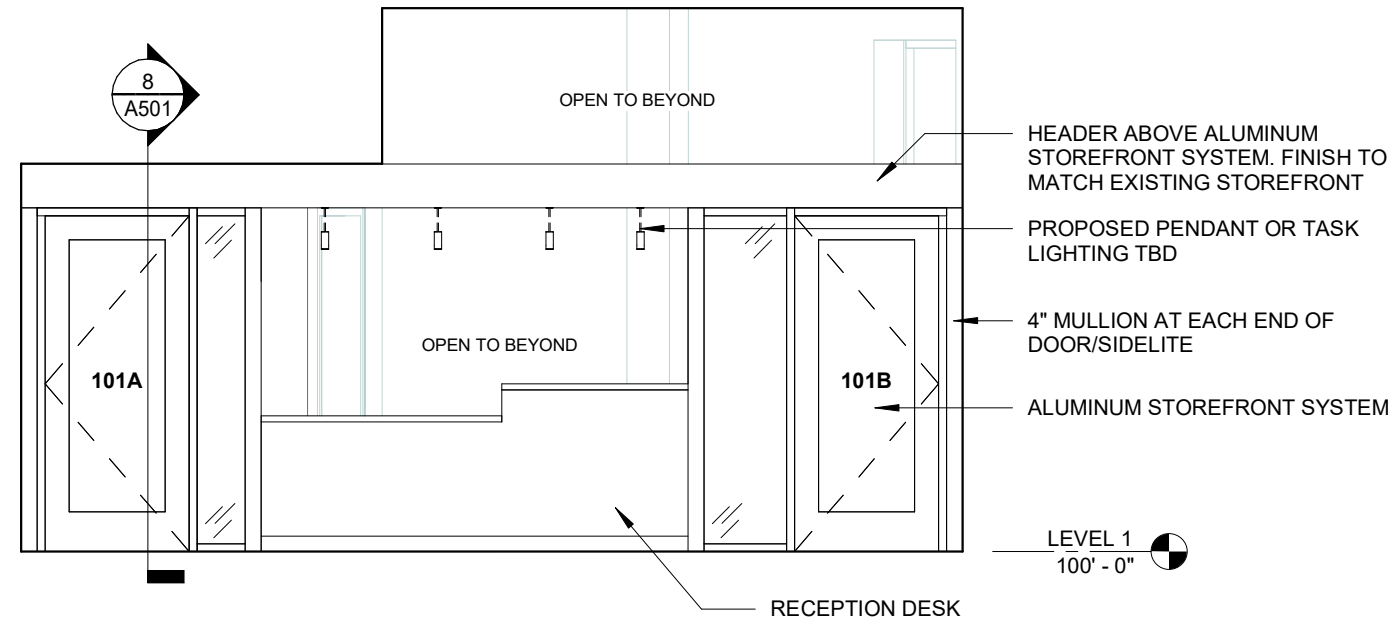
4 EARLY CHILDHOOD CLASSROOM 2 - ELEVATION  
A501 1/4" = 1'-0"



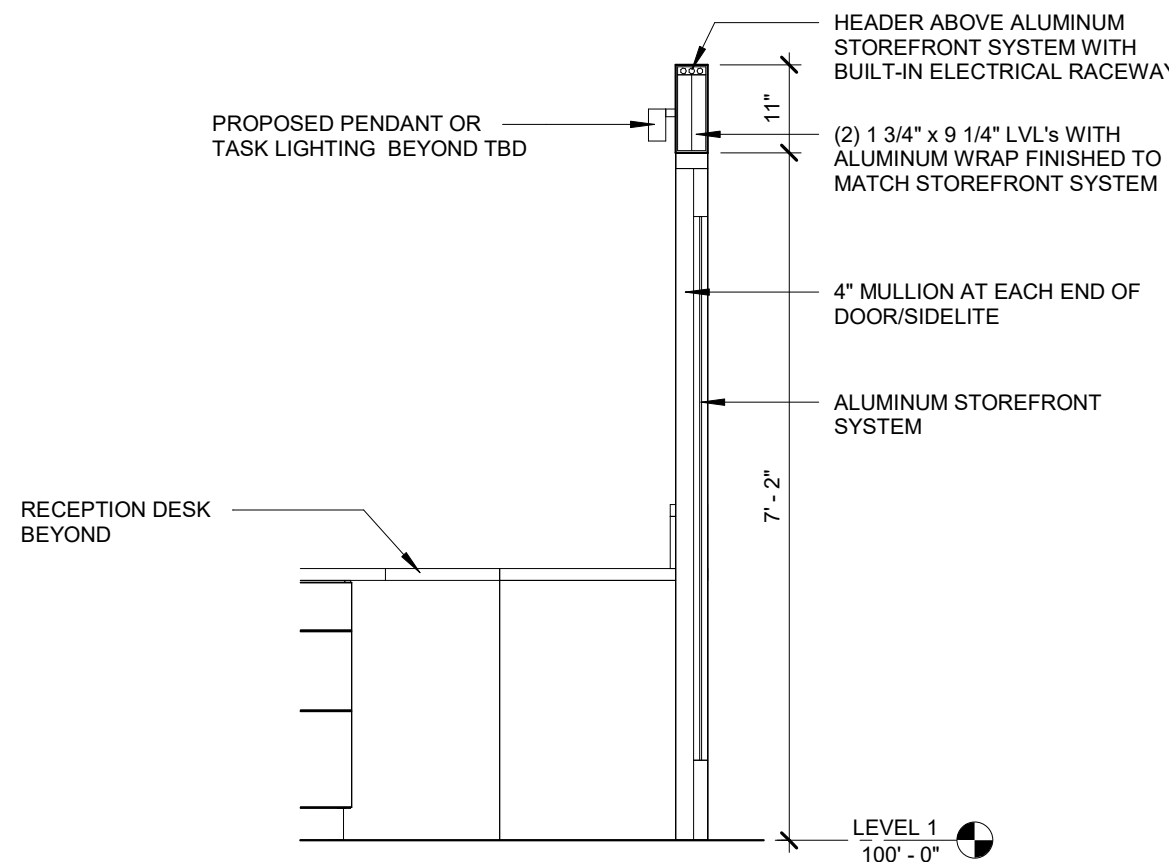
5 EARLY CHILDHOOD CLASSROOM 3 - ELEVATION  
A501 1/4" = 1'-0"



6 EARLY CHILDHOOD CLASSROOM 3 - ELEVATION  
A501 1/4" = 1'-0"



7 RECEPTION - ELEVATION  
A501 1/4" = 1'-0"



8 SECTION @ VESTIBULE DOOR  
A501 1/2" = 1'-0"

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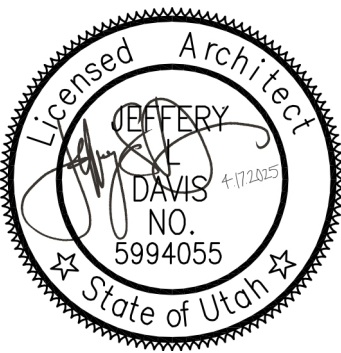
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INTERIOR  
ELEVATIONS AND  
DETAILS

A501

DOOR HARDWARE GROUPS

HARDWARE GROUP 001 (BY ALUMINUM SUBCONTRACTOR)  
(INTERIOR VESTIBULE ALUMINUM ENTRANCE)

FOR USE ON DOOR (S): 101A, 101B  
PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1 EA	CONT. HINGE	112XY	626	IVE
1 EA	STOREROOM LOCK	W581P6 LAT	626	FAL
1 EA	ELECTRIC STRIKE	CS450 12/24 VDC	630	LOC
1 EA	OH STOP	100S	630	GLY
1 EA	SURFACE CLOSER	SC81A REG OR PA AS REQ FC	689	FAL
1 EA	MOUNTING PLATE	SC80A-18PA	689	FAL
1 EA	CUSH SHOE SUPPORT	SC80A-30	689	FAL
1 EA	BLADE STOP SPACER	SC80A-61	689	FAL
1 EA	WIRE HARNESS	CON-XX AS REQUIRED	SCH	
1 EA	CARD READER	BY SECURITY CONTRACTOR	BLK	SCE
1 EA	DOOR CONTACT	7764 / 679-05 AS REQUIRED	630	SCE
1 EA	POWER SUPPLY	BY SECURITY CONTRACTOR	LGR	SCE
1	SEALS	BY DOOR / FRAME MANUFACTURER		

DOOR IS NORMALLY LOCKED, RESTRICTING ENTRY. AUTHORIZED CREDENTIAL AT OUTSIDE CARD READER  
MOMENTARILY RELEASES ELECTRIC STRIKE TO ALLOW ENTRY OR BY KEY. INSIDE LEVER ALWAYS ALLOWS  
EGRESS.

HARDWARE GROUP 002  
(CLASSROOM LOCK FUNCTION)

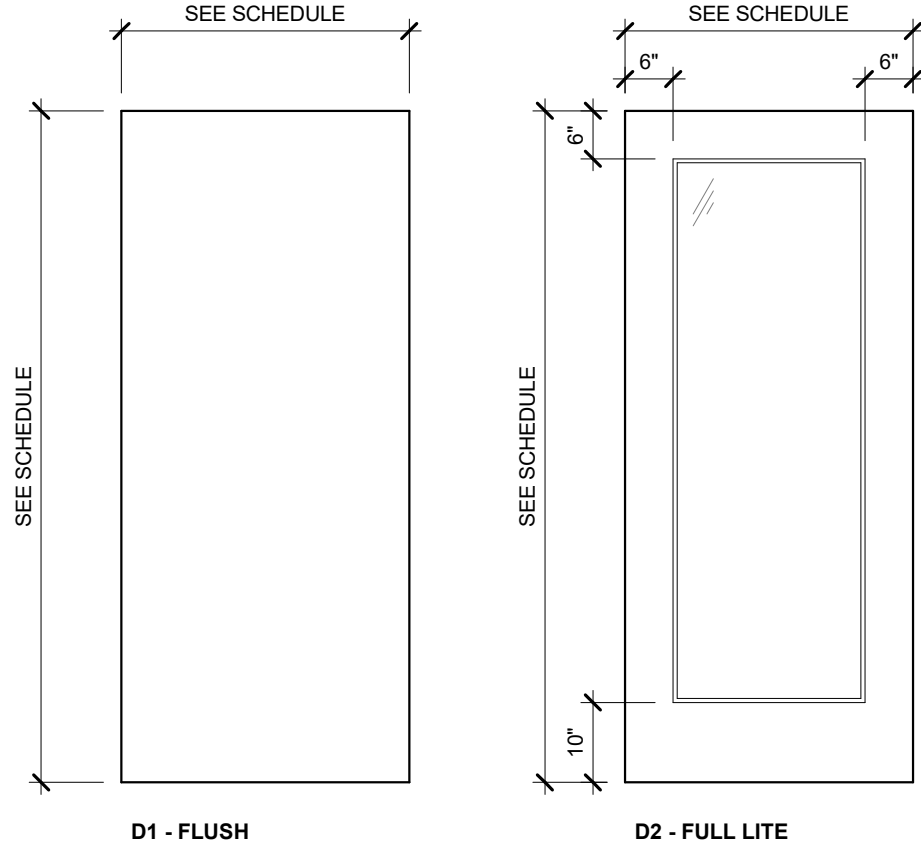
FOR USE ON DOOR: 104  
PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION
3 EA	HINGE
1 EA	CLASSROOM LOCKSET
1 EA	PERMANENT CORE
1 EA	WALL STOP
3 EA	SILENCER

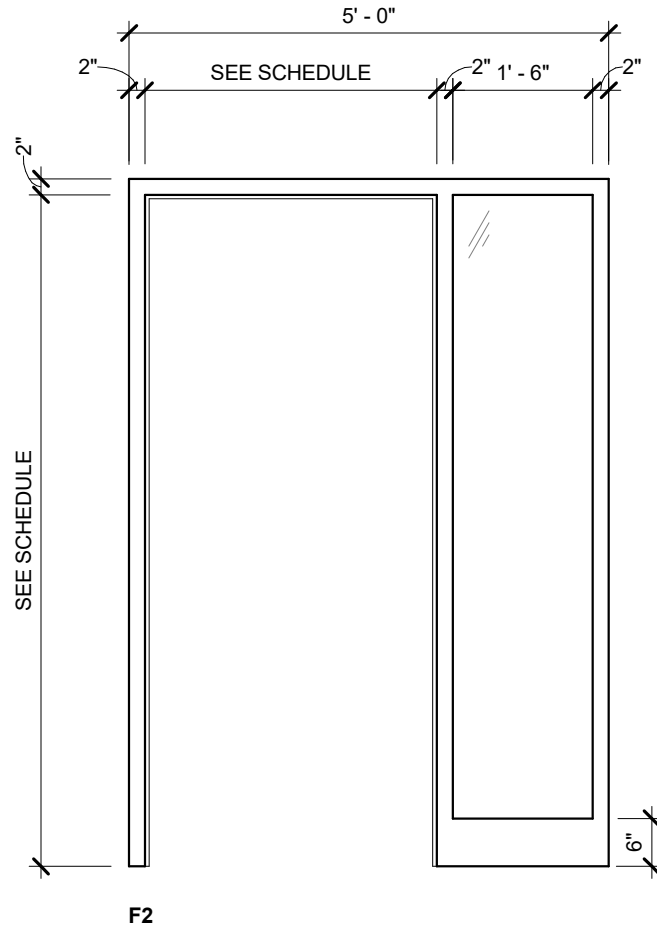
REMARKS: MATCH EXISTING TYPE AND MATERIAL.

DEADLOCKING LATCH BOLT BY KNOBS/LEVERS. OUTSIDE KNOB/LEVEL LOCKED BY KEY OUTSIDE. INSIDE  
KNOB/LEVER ALWAYS FREE.

DOOR SCHEDULE													
DOOR NO	DOOR					FRAME					FIRE	HDWR	COMMENTS
	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	HEAD	SILL	JAMB	TYPE	MAT'L			
101A	3'-0"	7'-0"	1 3/4"	D2	AL/GL	--	--	--	F2	HM	--	001	RE-USE EXISTING DOOR, FRAME, AND DOOR HARDWARE IF IN ACCEPTABLE CONDITION
101B	3'-0"	7'-0"	1 3/4"	D2	AL/GL	--	--	--	F2	HM	--	001	
104	3'-0"	7'-0"	1 3/4"	D1	WD	--	--	--	F2	HM	--	002	



SEE SCHEDULE FOR DOOR MATERIAL AND GLASS TYPE



1 DOOR TYPES  
A601 1/2" = 1'-0"

2 FRAME TYPES  
A601 1/2" = 1'-0"

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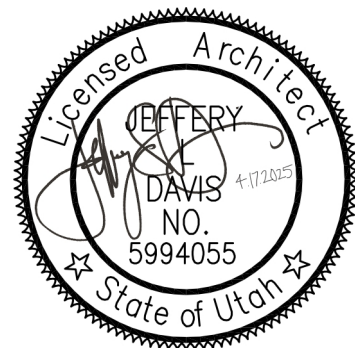
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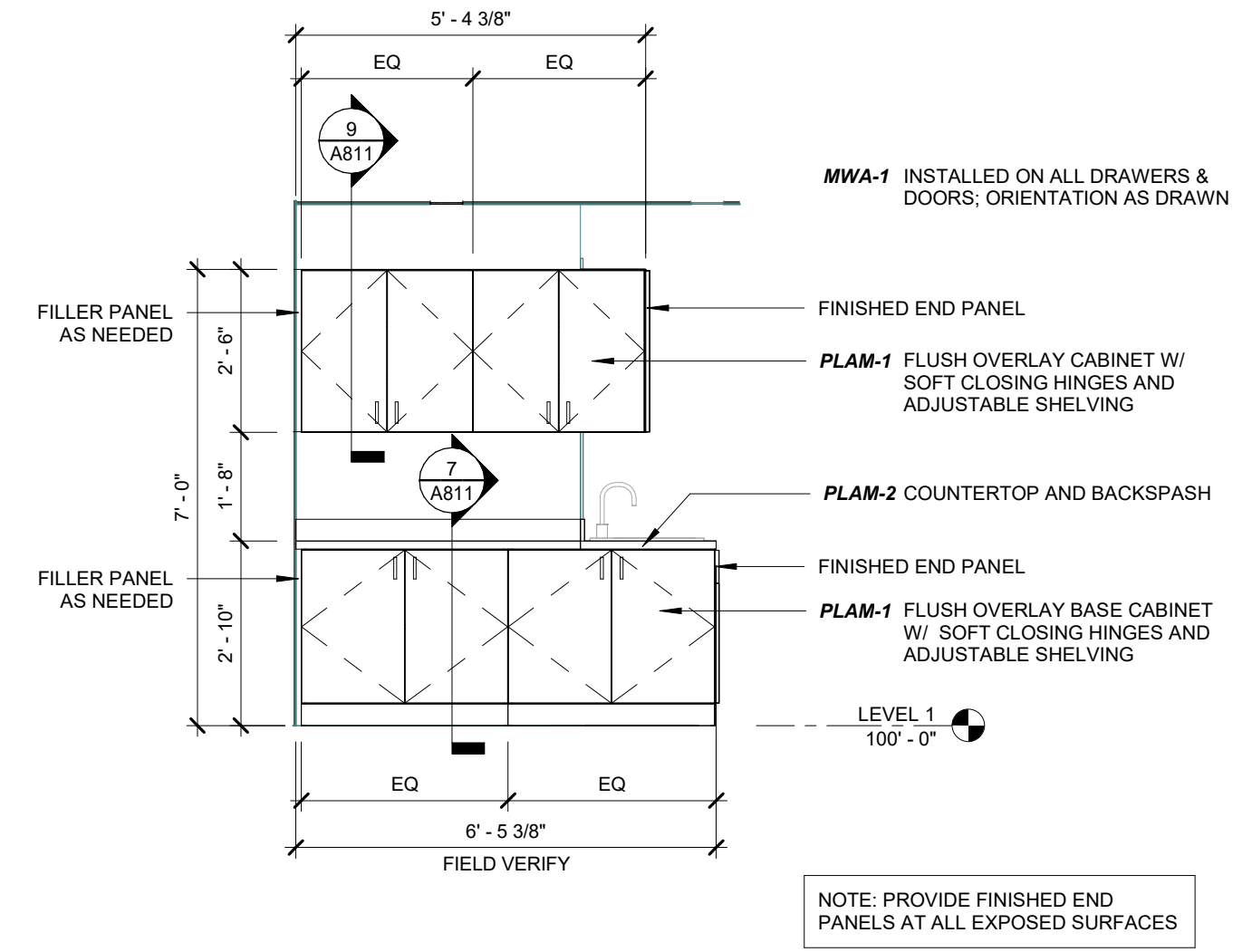
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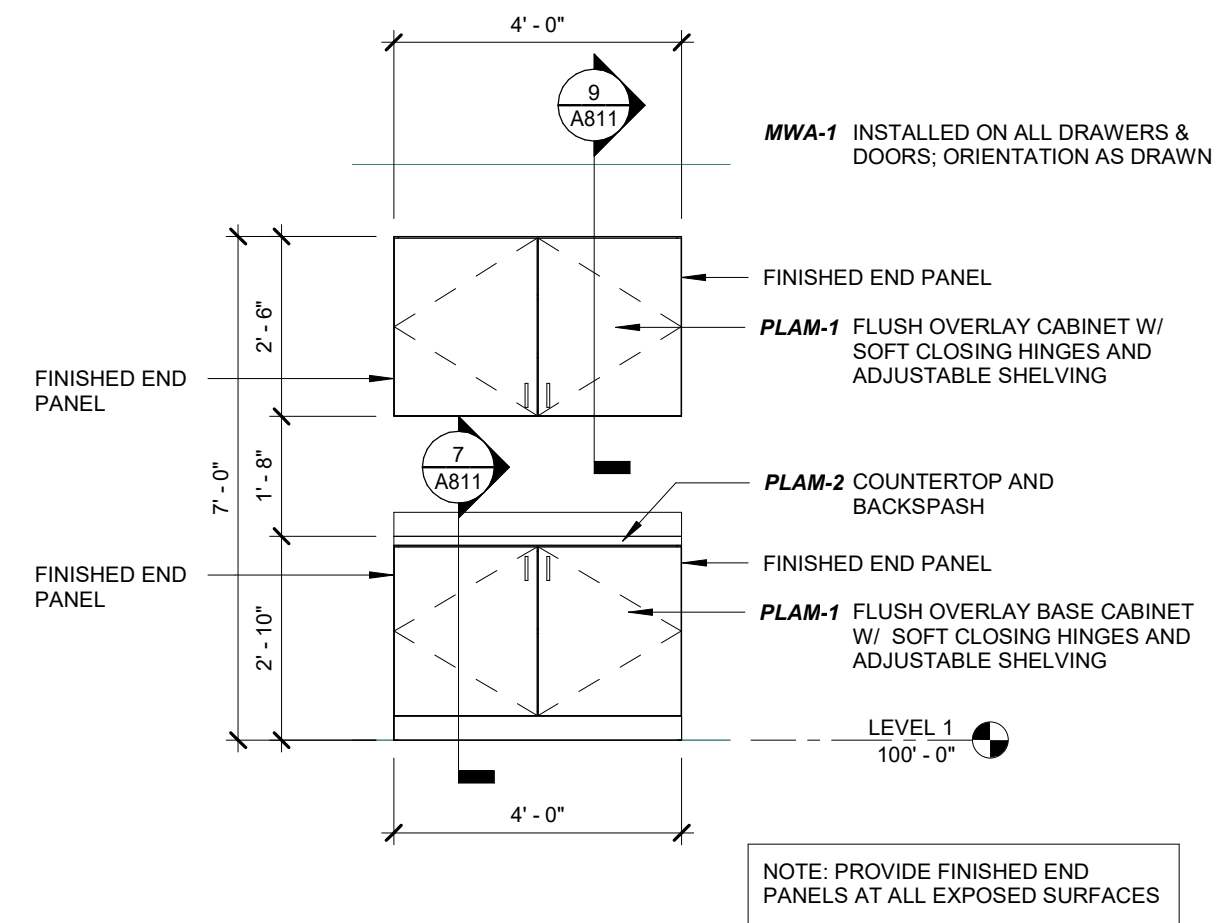
DOOR SCHEDULE,  
TYPES AND DETAILS

A601

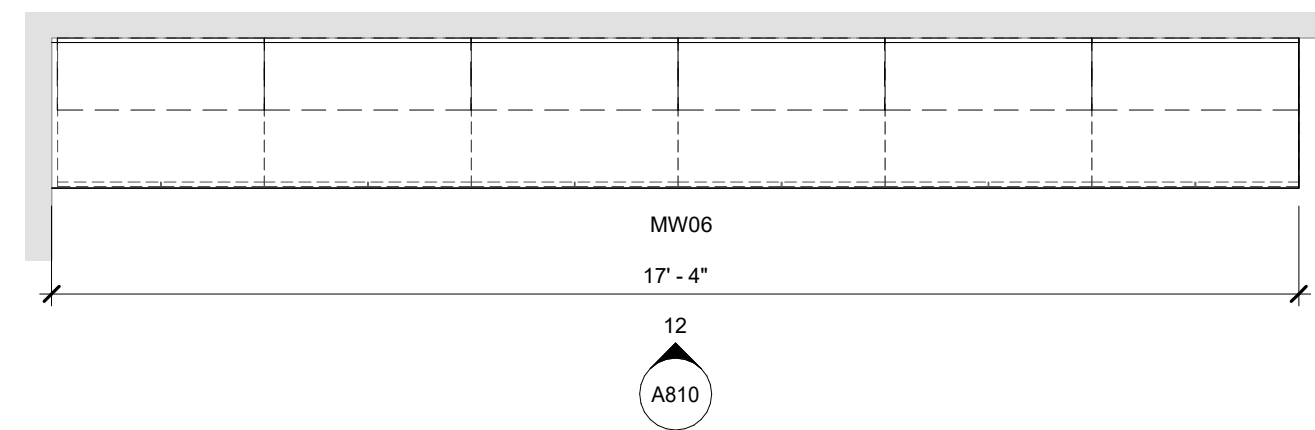




#### 4 MW02 MILLWORK ELEVATION



8 MW04 MILLWORK ELEVATION  
A810 3/8" = 1'-0"



**11** MW06 ENLARGED MILLWORK PLAN  
A810 3/8" = 1'-0"



# A810

