

Addendum NO. 01

Date 5/20/2025
Project Name UCA Millcreek Head Start Renovation
Project Number 2025009
Project Phase Permit/Bid
Project Location 336 E 3900 S. Salt Lake City, UT 84107

Issue Date 4/18/2025
Bid Date

To Bradley Myrup
From **MSR Design**
510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402

Introduction

This Addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated 4/18/2025. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject Bidder to disqualification. Reference made below to Specifications and/or Drawings shall be used as a guide only. When Specification Sections or Drawings are issued, changes made in Specification or on Drawings will take precedence over narrative explanation below. Contractor shall determine for themselves the work affected by Addendum items. This Addendum consists of 2 pages, plus attachments listed below. It is assumed that specification sections and drawings are not attached unless specifically indicated as *Attached*.

Attachments

Specifications Specification Section 01 23 00 RIB-Alternates
Detail Drawings None
Drawings See Architectural Drawing List Below
Special Attachments See Mechanical and Plumbing Narrative and Drawings

If attachments are not as stipulated above, please notify MSR Design promptly.

Changes to Project Manual

Modifications to Specifications

1. Section 01 23 00 RIB-Alternates.
 - a. Added specification section.

Changes to Drawings

1. **G001 – MATERIAL ID LIST, TYPES AND SYSTEMS**
 - a. BASE TYPES – Revised detail BASE-1.
 - b. BASE TYPES – Added detail BASE-2.
2. **G051 – BUILDING CODE SUMMARY**
 - a. Detail 2/G051 - Revised detail and updated plan locations of single door, exterior windows, and interior walls & millwork based on existing field measurements.
 - b. "EXIT ACCESS PATH DISTANCES" schedule - Revised travel distances.

- c. "OCCUPANT LOAD SUMMARY PER LEVEL" schedule – Revised occupant loads.
 - d. "REQUIRED PLUMBING FIXTURE TOTAL – E OCCUPANCY" schedule – Revised plumbing calculations.
- 3. A101 – LEVEL 1 DEMOLITION FLOOR AND REFLECTED CEILING PLAN**
- a. Detail 1/A101 – Revised detail and updated plan locations of single door, exterior windows, and interior walls & millwork based on existing field measurements.
 - b. Detail 2/A101 – Revised extent of ceiling removal between Early Childhood Classrooms 1 & 2.
 - c. Demolition Keynote D13 – Revised Keynote to read "NOT USED".
- 4. A121 – LEVEL 1 FLOOR AND REFLECTED CEILING PLAN**
- a. Detail 1/A121 – Revised detail and updated plan locations of single door, exterior windows, and interior walls & millwork based on existing field measurements.
 - b. Detail 1/A121 – Removed children's toilet replacement. No demolition, fixtures are existing to remain.
 - c. Detail 1/A121 – Revised location of interior partition walls, millwork, and sinks between Early Childhood Classrooms 1 & 2.
 - d. General Keynote 13 – Revised keynote to read "NOT USED".
 - e. Detail 2/A121 – Revised extent of ceiling to be added and modified between Early Childhood Classrooms 1 & 2.
 - f. Detail 2/A121 – Added ceiling elevation tags.
- 5. A131– LEVEL 1 FINISH & FURNITURE, AND MILLWORK PLAN**
- a. Detail 1/A131 – Revised extents of wall and floor finishes.
 - b. Detail 1/A131 – Revised furniture location.
 - c. Detail 2/A131 – Revised millwork plan.
- 6. A501 – INTERIOR ELEVATIONS AND DETAILS**
- a. Detail 1/A501 – Revised elevation.
- 7. A601– DOOR SCHEDULE, TYPES AND DETAILS**
- a. Door Schedule. Revised door frame types 101A and 101B to be "AL".
- 8. A810 – MILLWORK PLANS AND ELEVATIONS**
- a. Detail 1/A810 – Revised millwork plan.
 - b. Detail 2/A810 – Revised millwork elevation.

End of Addendum 001



(801) 530-3148
resolutgroup.com
info@resolutgroup.com

Addendum #1

DATE: 05/19/2025
PROJECT NO: 240873
PROJECT: UCA – Mechanical Addendum

The following revision, additions, deletions, and/or items of clarification shall hereby be included as an integral part of the Contract Documents for the above-listed project and shall be fully binding. All other requirements of the original plans and specification shall remain in effect in their respective order.

DRAWINGS

SHEET – M101 LEVEL 1 MECHANICAL HVAC PLAN

1. Changed floor plan to include wall change.

SHEET – P101 LEVEL 1 PLUMBING PLAN

1. Changed floor plan to include wall change.
2. Moved WB-1, S-1, EP-1, L-1 associated with the wall change.

SHEET - P601 PLUMBING DETAILS & SCHEDULES

1. Deleted the reference to WC-1, removed from scope.

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SECTION 01 23 00

ALTERNATES

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Description of Alternates.
- B. Procedures for pricing Alternates.
- C. Documentation of changes to Contract Sum and Contract Time.

1.02 ACCEPTANCE OF ALTERNATES

- A. Alternates quoted on Bid Forms will be reviewed and accepted or rejected at Owner's option. Accepted Alternates will be identified in the Owner-Contractor Agreement.
- B. Coordinate related work and modify surrounding work to integrate the Work of each Alternate.

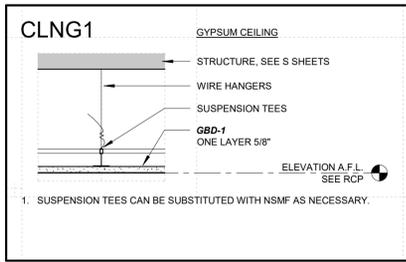
1.03 SCHEDULE OF ALTERNATES

- A. Alternate No.1: Classroom 2 and 3 Flooring.
 - 1. Base Bid: Provide new carpet and resilient finishes in classroom 2 and 3 as indicated.
 - 2. Deduct Alternate: Existing flooring to remain.
- B. Alternate No.2: Classroom 2 and 3 Millwork
 - 1. Base Bid: Provide new millwork in classroom 2 and 3 as indicated.
 - 2. Deduct Alternate: Existing millwork to remain.

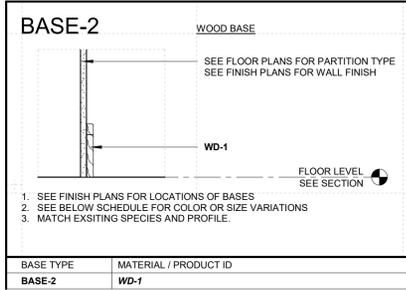
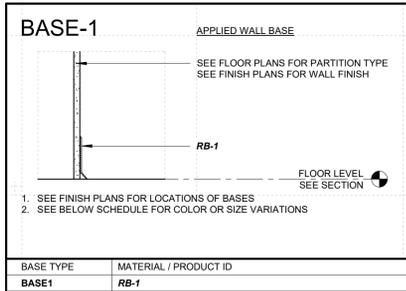
PART 2 PRODUCTS - NOT USED

PART 3 EXECUTION - NOT USED

END OF SECTION



CEILING TYPES



BASE TYPES

MATERIAL / PRODUCT ID LIST - SPEC DATA

ID	DESCRIPTION	SPEC DATA
CPT-1	CARPETING, LIGHT GRAY	MFR: INTERFACE; COLLECTION: THIRD SPACE; PRODUCT: THIRD SPACE 302; COLOR: 107855 LINEN; FIBER: 100% Recycled Content Nylon; BACKING: COULEST BIO GB; SIZE: 50CM X 50CM; INSTALL PATTERN: MONOLITHIC; PILE THICKNESS: 0.16 in; NOTE: Free of Added Heavy Metals, Formaldehyde, Fluorinated Chemicals (PFAS), and Halogenated Flame Retardants; REMARKS: PROVIDE PRICING ALLOWANCE OF \$30/YD FOR MATERIAL COST.
GBD-1	GYPSUM BOARD, TYPICAL	PRODUCT: PAPER-FACED GYPSUM BOARD; THICKNESS: 5/8" TYPICAL, UNO.
INSUL-1	INSULATION, SOUND-ATTENUATION BATT/BLANKET	PRODUCT: MINERAL-FIBER SOUND-ATTENUATION BLANKETS; ASTM/TYP: C665, TYPE I; R-VALUE: N/A; FACING: UNFACED; VAPOR: PERMEABLE (MORE THAN 10 PERMS); THICKNESS: SEE DRAWINGS;
LVT-1	LUXURY VINYL TILE	MFR: PURPOSE; PRODUCT: XL FLOOR PLANK; THICKNESS: 2.2 MM; COLOR: ACORN PL097U; SIZE: 9.84" x 59.06";
MWA-1	MILLWORK ACCESSORY, DRAWER/CABINET PULL	MFR: DOUG MOCKETT; PRODUCT: MILLWORK DOOR & DRAWER PULL; MODEL: DF22A-S-3/8" LONG SLENDER BAR PULL; SIZE: 5 1/4" CENTER TO CENTER; FINISH: TBD BY OWNER;
PLAM-1	PLASTIC LAMINATE	PRODUCT: WILSONART; FINISH: MATTE; COLOR: MANITOBA MAPLE 7911-60; DESCRIPTION: CABINET;
PLAM-2	PLASTIC LAMINATE	PRODUCT: WILSONART; FINISH: MATTE; COLOR: BENJAMINE GREY 1887; DESCRIPTION: COUNTERTOP;

MATERIAL / PRODUCT ID LIST - SPEC DATA

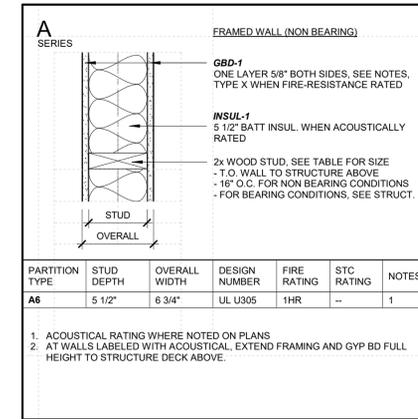
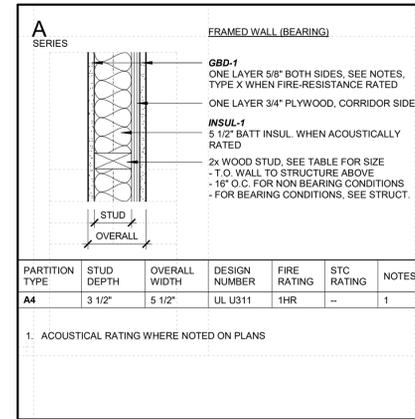
ID	DESCRIPTION	SPEC DATA
PLAM-3	PLASTIC LAMINATE	PRODUCT: WILSONART; FINISH: MATTE; COLOR: MANITOBA MAPLE 7911-60; DESCRIPTION: RECEPTION DESK AND MILLWORK;
PLAM-4	PLASTIC LAMINATE	PRODUCT: WILSONART; FINISH: MATTE; COLOR: 15504 CHARCOAL VELVET; DESCRIPTION: RECEPTION DESK COUNTERTOP;
PT-2	INTERIOR LATEX, EGGSHELL SHEEN	PRODUCT: INTERIOR LATEX PAINT; SHEEN: EGGSHELL; TYPE: INSTITUTIONAL LOW-ODOR VOC; MPI SYSTEM PER SUBSTRATE, SEE SPEC; MPI TOPCOAT: 145 X-GREEN; COLOR: SEE PT LETTER;
PT_A	PAINT COLOR, BEIGE	MFR: SHERWIN WILLIAMS; COLOR: BEIGE MATCH (CUSTOM);
PT_B	PAINT COLOR, YELLOW ACCENT	MFR: SHERWIN WILLIAMS; COLOR: 6913 FUNKY YELLOW;
PT_C	PAINT COLOR, BLUE ACCENT	MFR: SHERWIN WILLIAMS; COLOR: 6971 MORNING GLORY;
PT_D	PAINT COLOR, WHITE TO MATCH EXISTING	MFR: SHERWIN WILLIAMS; COLOR: MATCH EXISTING CEILING COLOR AND FINISH;
RB-1	RESILIENT WALL BASE, GREY	MFR: FLEXCO; PRODUCT: TS WALL FLOWERS RUBBER; STYLE: WALL BASE; HEIGHT: 4"; COLOR: SMOKE GREY, TO MATCH EXISTING; STANDARD;

GENERAL NOTES

SOME PARTITIONS DESCRIBED HERE MAY NOT BE USED ON THIS PROJECT. SEE FLOOR AND REFLECTED CEILING PLANS FOR PARTITION TYPES USED.

- INTERIOR PARTITIONS TYPES SHALL BE INDICATED BY THIS SYMBOL.
- GAUGE AND SPACING OF METAL FRAMING SHALL BE BASED ON SPECIFIED PERFORMANCE REQUIREMENTS USING APPROPRIATE DEFLECTION LIMITS FOR EACH PARTITION FINISH UNLESS NOTED OTHERWISE. ADJUST SPACING AND LOCATION OF FRAMING TO COORDINATE ATTACHMENT OF PARTITION FINISHES AND WALL-MOUNTED MILLWORK, FIXTURES, FURNISHINGS, AND EQUIPMENT.
- TYPE "X" OR "C" GYPSUM BOARD REQUIRED AT FIRE RATED PARTITIONS ONLY.
- STC RATINGS LISTED FOR EACH PARTITION TYPE INDICATE REPORTED ACOUSTICAL PERFORMANCE OF THE TESTED ASSEMBLY DESIGN SHOWN, WHICH INCLUDES SOUND ATTENUATION BLANKET INSULATION. REFER TO INDIVIDUAL ASSEMBLY DESIGNS FOR DETAILED CONSTRUCTION TECHNIQUE.
- AT NON-RATED PARTITIONS IN ROOMS WITH FINISHED CEILINGS, EXTEND THE FULL ASSEMBLY TO 6" ABOVE CEILING AND BRACE FRAMING TO STRUCTURE UNLESS NOTED OTHERWISE.
- AT NON-RATED PARTITIONS IN ROOMS WITHOUT CEILINGS, EXTEND THE FULL ASSEMBLY TO ROOF OR FLOOR DECK ABOVE WITH SUFFICIENT ALLOWANCE FOR DEFLECTION TO ELIMINATE CRUSHING OF PARTITION UNLESS NOTED OTHERWISE. PROVIDE HEAD OF WALL JOINT TO MAINTAIN FIRE AND/OR ACOUSTICAL RATING OF THE PARTITION AND FLOOR OR ROOF ASSEMBLY.
- AT FIRE AND/OR ACOUSTICALLY RATED PARTITIONS, EXTEND THE FULL ASSEMBLY TO ROOF OR FLOOR DECK ABOVE WITH SUFFICIENT ALLOWANCE FOR DEFLECTION TO ELIMINATE CRUSHING OF PARTITION UNLESS NOTED OTHERWISE. PROVIDE HEAD OF WALL JOINT TO MAINTAIN FIRE AND/OR ACOUSTICAL RATING OF THE PARTITION AND FLOOR OR ROOF ASSEMBLY.

- AT FIRE AND/OR ACOUSTICALLY RATED PARTITIONS, PENETRATIONS OF THE ASSEMBLY AND JOINTS AT INTERSECTIONS WITH ADJACENT BUILDING ELEMENTS SHALL BE CONSTRUCTED PER MANUFACTURER'S WRITTEN RECOMMENDATIONS OR AS DESCRIBED BY THE SPECIFIED THIRD-PARTY TESTED PENETRATION OR JOINT SYSTEM. STAGGER JOINTS UNLESS A MINIMUM OF 2'-0" BETWEEN PENETRATIONS TO MAINTAIN RATING.
- AT ACOUSTICALLY RATED PARTITIONS, PROVIDE SOUND ATTENUATION BLANKET INSULATION FOR THE FULL-HEIGHT OF THE PARTITION UNLESS NOTED OTHERWISE.
- AT LOCATIONS INDICATED TO RECEIVE TILE FINISHES, PROVIDE TILE BACKER BOARD IN LIEU OF TYPICAL WALL BOARD NOTED FOR THE PARTITION TYPE. INSTALLATION OF TILE BACKER BOARD SHALL NOT REDUCE FIRE AND/OR ACOUSTICAL RATINGS NOTED FOR THE PARTITION TYPE.
- PROVIDE BLOCKING AND/OR BACKER SUPPORT FOR ATTACHMENT OF WALL-MOUNTED MILLWORK, FINISHES, FIXTURES, FURNISHINGS, AND EQUIPMENT. COORDINATE LOCATION AND EXTENTS WITH OWNER AND CONTRACTOR SUPPLIED EQUIPMENT PRIOR TO CONSTRUCTION OF PARTITION. SEE FURNITURE PLAN FOR LOCATIONS OF FURNISHINGS THAT REQUIRE BLOCKING.
- REFER TO STRUCTURAL DRAWINGS FOR INTERIOR STRUCTURAL PARTITIONS.
- AT MASONRY PARTITIONS, PROVIDE A MINIMUM OF 1'-0" OF SOLID MASONRY BETWEEN PENETRATIONS UNLESS NOTED OTHERWISE.
- AT NON-LOAD-BEARING MASONRY PARTITIONS, PROVIDE ANCHORS FASTENED TO STRUCTURE FOR LATERAL SUPPORT ALONG TOP OF PARTITION WITHOUT TRANSFER OF COMPRESSIVE LOADS. NOTIFY ARCHITECT OF CONDITIONS THAT PREVENT ADEQUATE CONNECTION TO STRUCTURE PRIOR TO INSTALLATION.



WALL TYPES - PARTITION

**UCA MILLCREEK HEAD
START RENOVATION**
336 E 3900 S
SALT LAKE CITY, UT 84107



Mark	Date	Description
2	05/20/2025	ADDENDUM 1

**UCA MILLCREEK HEAD
START RENOVATION**
336 E 3900 S
SALT LAKE CITY, UT 84107

Project No: 2025009

Architect Seal



Signature

Date

License No

ADDENDUM 01

ISSUE / REVISION

Mark Date	Description
04/18/2025	PERMIT SET
2 05/20/2025	ADDENDUM 1

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**BUILDING CODE
SUMMARY**

G051

BUILDING AREA	
NAME	AREA
LEVEL 1	2,349 SF
LEVEL 2	2,097 SF
TOTAL BUILDING AREA	4,446 SF

BUILDING CODE SYMBOLS KEY

- FE FIRE EXTINGUISHER
- ▲ DESIGNATED EXIT
- ♿ ACCESSIBLE MEANS OF EGRESS
- ♿ ACCESSIBLE COMPONENT
- EGRESS TRAVEL PATH
- - - COMMON PATH OF EGRESS TRAVEL PATH
- - - DIAGONAL / EXIT SEPARATION LINE - REQUIRED
- - - DIAGONAL / EXIT SEPARATION LINE - PROVIDED
- - - 1 HOUR RATED FIRE WALL
- - - 2 HOUR RATED FIRE WALL
- - - SMOKE RATED WALL

FUNCTION OF SPACE

OCCUPANCY TYPE	OCC. LOAD FACTOR
SQUARE FEET	# OF OCCUPANTS

OCCUPANCY TYPE LEGEND

A-2	A-3
B	E
F	M
S-1	S-2

EXIT DOOR NUMBER
REQUIRED WIDTH IN INCHES
PROVIDED WIDTH IN INCHES
NUMBER OF OCCUPANTS THROUGH

STAIR NUMBER
REQUIRED WIDTH IN INCHES
PROVIDED WIDTH IN INCHES
NUMBER OF OCCUPANTS THROUGH
STAIRS SERVE WHICH LEVELS

FACTOR THAT IS USED TO DETERMINE REQ'D WIDTH

BUILDING CODE SUMMARY

APPLICABLE CODES	
2021 International Existing Building Code	(verify with local authority)
2021 International Energy Conservation Code	(verify with local authority)
2021 International Mechanical Code	(verify with local authority)
2021 International Plumbing Code	(verify with local authority)
2021 International Fuel Gas Code	(verify with local authority)
2020 National Electrical Code	(verify with local authority)
2009 ANSI 117	(verify with local authority)

PROPOSED BUILDING SUMMARY	
Type of Construction	Type V-B
Automatic Sprinkler System	Existing Sprinkler System is Provided
Building Height	35' (Approx); 2 stories above grade
Building Area	See "BUILDING AREA" Schedule

USE AND OCCUPANCY CLASSIFICATION (Chapter 3)	
Business Use, including small Storage and Conference spaces (Sections 303.1, 303.1.2, and 304.1)	B
Educational Use (Section 305.2)	E
- Child Care Facilities using 35 net Occupant Load Factor	

GENERAL BUILDING HEIGHTS AND AREA (Chapter 5)	
Building Height - Allowable (Section 504)	
- Height limitations for "occupancy type" (Table 504.3)	60 feet
- Story limitations for "occupancy type" (Table 504.4)	2 stories

TYPES OF CONSTRUCTION (Chapter 6)	
Fire-Resistance Rating Requirements for Building Elements (Table 601)	
- Structural frame	0 HR
- Bearing walls (Exterior)	0 HR
- Bearing walls (Interior)	0 HR
- Nonbearing walls and partitions (Exterior)	See below
- Nonbearing walls and partitions (Interior)	0 HR
- Floor construction (including supporting beams and joists)	0 HR
- Roof construction (including supporting beams and joists)	0 HR

FIRE-RESISTANCE RATED CONSTRUCTION (Chapter 7)	
Maximum Area of Exterior Wall Openings (Table 705.8)	
- Fire separation distance	20 feet or greater
- Degree of Opening Protection	Unprotected, Non-sprinklered
- Allowable	No Limit

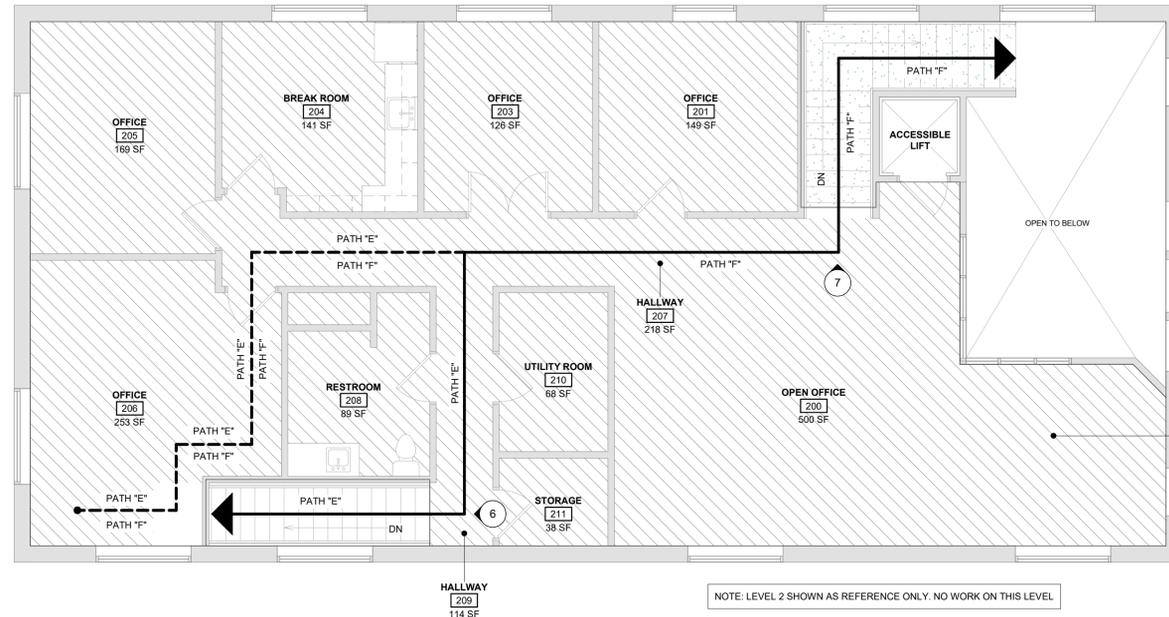
MEANS OF EGRESS (Chapter 10)	
Occupant Load (Section 1004)	
- See Code Plans for Occupant Loads for each story and space	

OCCUPANT LOAD SUMMARY PER LEVEL				
OCCUPANCY TYPE	FUNCTION OF SPACE	OCCUPANT LOAD FACTOR 1/PER	AREA	OCCUPANT LOAD
LEVEL 1				
B	BUSINESS AREA	150/GROSS	438 SF	4
E	DAYCARE	35/NET	1,408 SF	44
				48
LEVEL 2				
B	BUSINESS AREA	150/GROSS	1,901 SF	13
				13
GRAND TOTAL			3,807 SF	61

REQUIRED PLUMBING FIXTURES TOTAL - B OCCUPANCY						
OCCUPANCY TYPE	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD	WATER CLOSETS		LAVATORIES	DRINKING FOUNTAINS
			MALE	FEMALE	MALE	FEMALE
B	BUSINESS	17	0.34	0.34	0.21	0.21
			0.34	0.34	0.21	0.21
GRAND TOTAL		17	0.34	0.34	0.21	0.21

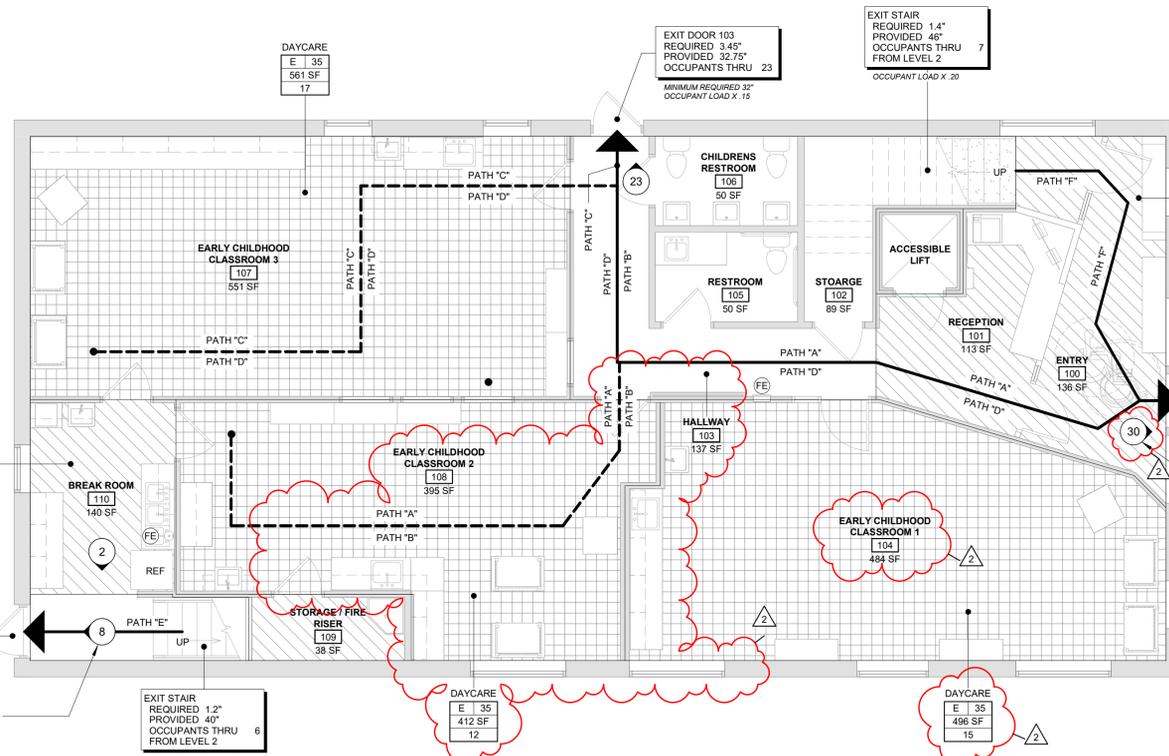
REQUIRED PLUMBING FIXTURES TOTAL - E OCCUPANCY						
OCCUPANCY TYPE	OCCUPANCY CLASSIFICATION	OCCUPANT LOAD	WATER CLOSETS		LAVATORIES	DRINKING FOUNTAINS
			MALE	FEMALE	MALE	FEMALE
E	EDUCATIONAL	44	0.44	0.44	0.44	0.44
			0.44	0.44	0.44	0.44
GRAND TOTAL		44	0.44	0.44	0.44	0.44

PROVIDED PLUMBING FIXTURES						
LEVEL	WATER CLOSETS			LAVATORIES		DRINKING FOUNTAINS
	MALE	FEMALE	UNISEX	MALE	FEMALE	
LEVEL 1	0	0	3	0	0	4
LEVEL 2	0	0	1	0	0	1
TOTAL	0	0	4	0	0	5



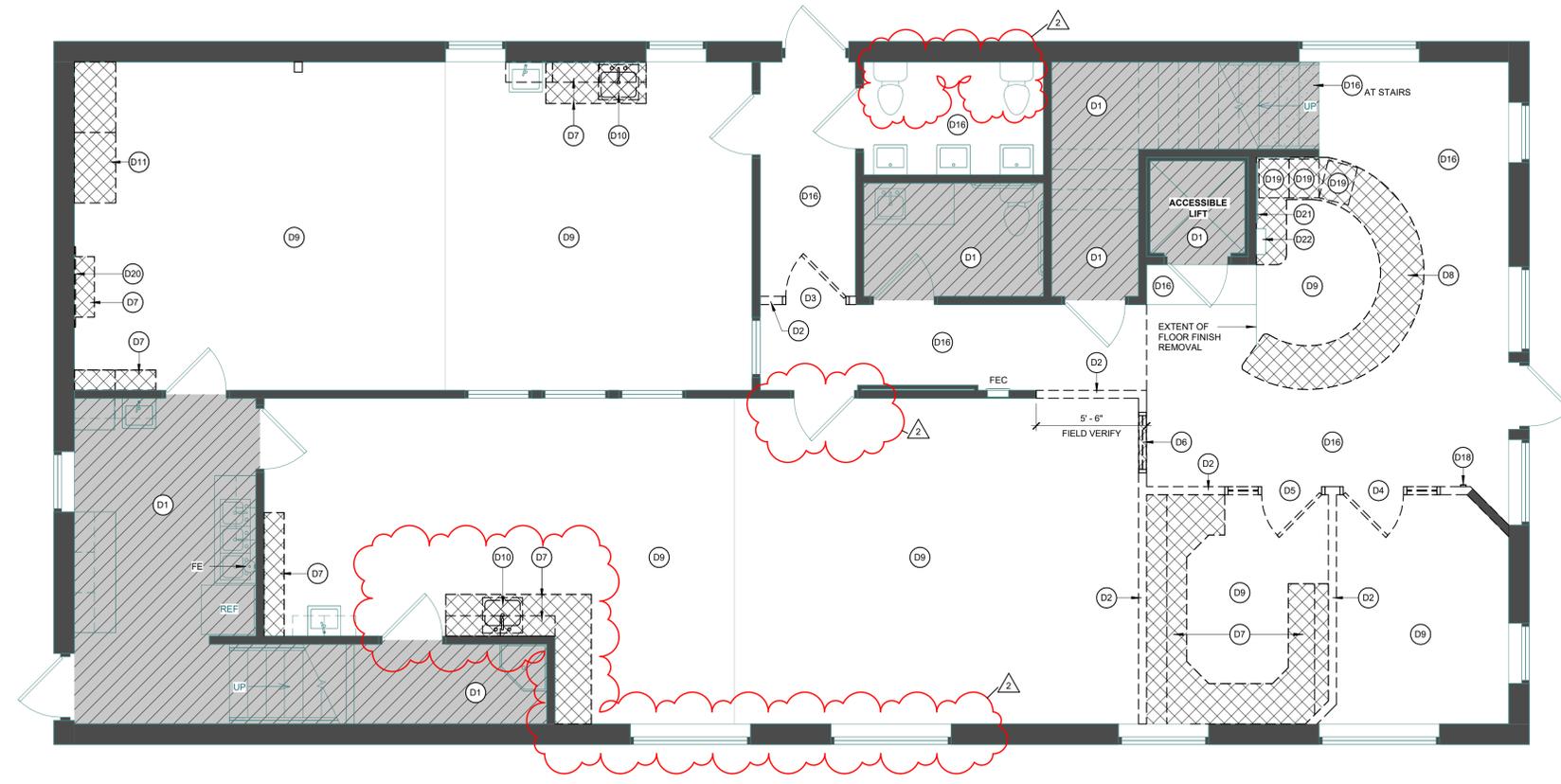
1 LEVEL 2 EGRESS PLAN
G051 3/16" = 1'-0"

NORTH



2 LEVEL 1 EGRESS PLAN
G051 3/16" = 1'-0"

NORTH



DEMOLITION GENERAL NOTES

NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN ON PLANS.
 PROVIDE DUSTPROOF PARTITIONS AS REQUIRED TO ACCOMPLISH WORK WITH MINIMUM DISTURBANCE TO FUNCTIONS OF ADJACENT AREAS.
 THE CONTRACTOR SHALL PROTECT THE EXISTING CONDITION DURING CONSTRUCTION. ANY EXISTING CONDITION DAMAGED AS A RESULT OF THE WORK SHALL BE REPAIRED TO AN EXTENT AND AS REQUIRED TO MATCH ADJACENT.
 MAINTAIN ALL EXISTING SERIES IN ADJACENT AREAS OF THE BUILDING DURING THE PROJECT. MAINTAIN ALL EGRESS AND FIRE PROTECTION REQUIREMENTS.
 GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK, PHASING, AND SEQUENCING WITH THE OWNER.
 COORDINATE DEMOLITION SCOPE WITH STRUCTURAL.
 MOUNTING DEVICES, MISCELLANEOUS AND UNUSED ACCESSORIES, WIRES AND FASTENERS TO BE REMOVED BY DEMOLITION CONTRACTOR. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO VERIFY EXTENT OF REQUIRED DEMOLITION & PREPARATION WORK.
 ALL DIMENSIONS SHOWN REPRESENT INTENT. ACTUAL DIMENSIONS NEED TO BE VERIFIED IN FIELD.
 COORDINATE WITH OWNER/LANDLORD ALL ITEMS TO BE SALVAGED PRIOR TO THE BEGINNING OF DEMOLITION.
 ALL ITEMS NOTED TO BE SALVAGED AND REMOVED ARE TO BE PROTECTED FROM DAMAGE DURING REMOVAL AND STORED IN A PROTECTED LOCATION FOR REUSE.
 WHERE DEMOLITION HAS OCCURRED, AND NEW CONSTRUCTION IS NOT REQUIRED, PATCH AND REPAIR REMAINING SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES.
 WHERE PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE PARTITION WITH ALL ITEMS CONTAINED WITHIN, INCLUDING BUT NOT LIMITED TO: DOORS, FRAMES, HARDWARE, SIDELITES, WINDOWS, MECHANICAL AND ELECTRICAL EQUIPMENT, RECEPTACLES, LOW VOLTAGE WIRING AND DEVICES, ETC. REMOVE TO STRUCTURE ABOVE OR TO NEAREST JUNCTION BOX.
 CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO PATCH AND REPAIR ALL FINISHES TO LIKE NEW CONDITION TO MATCH EXISTING ADJACENT, WHERE IMPACTED BY NEW WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATIONS AND MODIFICATIONS.
 CONTRACTOR RESPONSIBLE TO COORDINATE ALL DEMOLITION WORK REQUIRED FOR NEW WORK.
 OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF ALL SALVAGED ITEMS, INCLUDING BUT NOT LIMITED TO: LIGHT FIXTURES, PLUMBING FIXTURES, HARDWARE, ETC. SALVAGED ITEMS SCHEDULE FOR REUSE SHALL BE CLEANED, RESTORED AND/OR REFINISHED TO LIKE NEW CONDITION, UNLESS NOTED OTHERWISE.
 WHERE FLOORING IS TO BE REMOVED, REMOVE ALL MATERIAL TO EXPOSE SUBSTRATE BELOW. REMOVE ALL RELATED CONSTRUCTION ADHESIVES OR FASTENERS AND PREPARE FLOOR FOR NEW FINISH.
 ALL LOOSE DEBRIS, STICKERS, LETTERS AT COLUMNS, EXTRANEIOUS HANGERS, MOUNTING DEVICES, MISCELLANEOUS AND UNUSED ACCESSORIES, WIRES, AND FASTENERS ARE TO BE REMOVED BY THE DEMOLITION CONTRACTOR.
 SEE MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION AND NEW CONSTRUCTION PLANS FOR MORE INFORMATION.

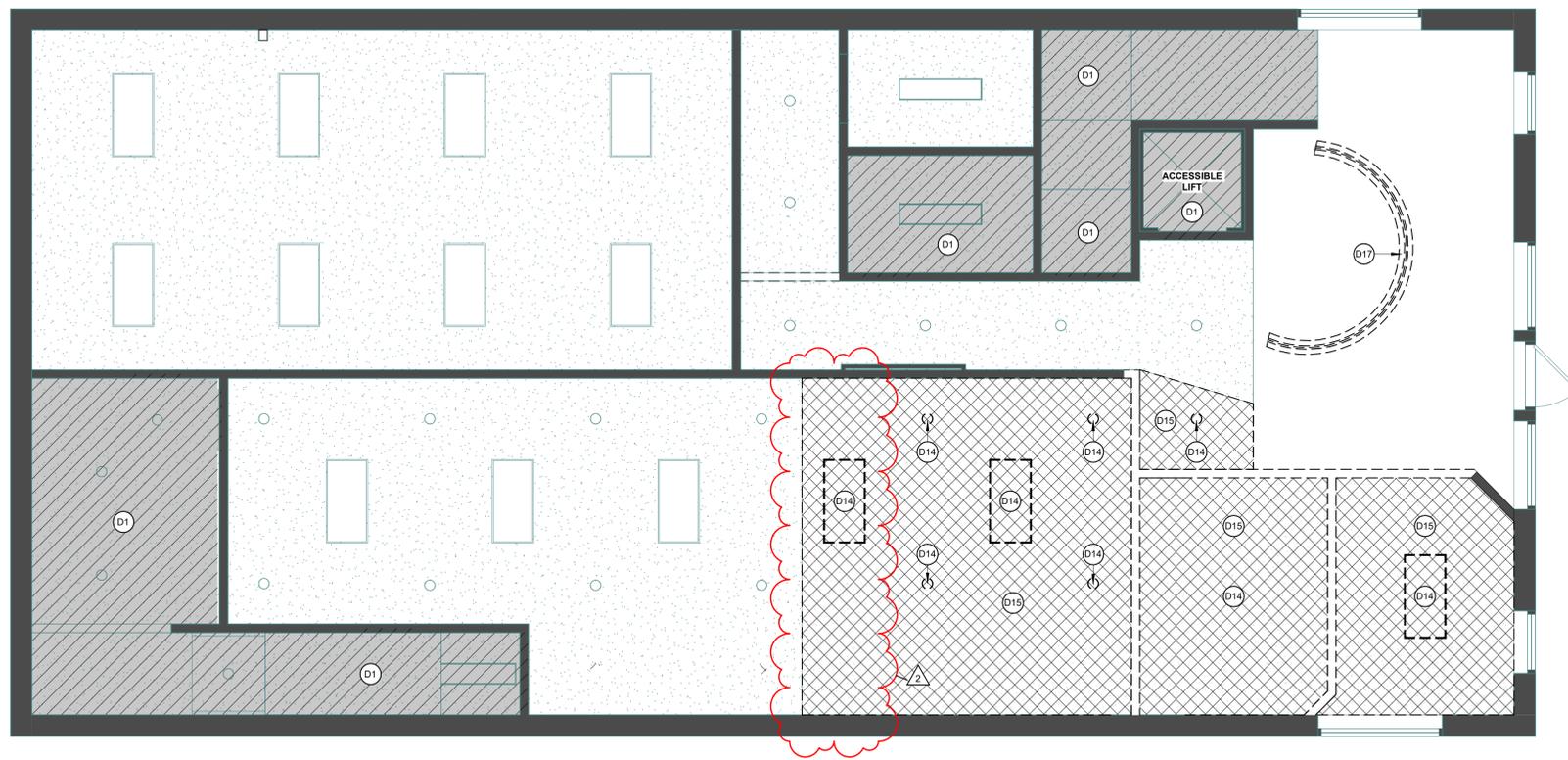
DEMOLITION KEYNOTES

- (D1) NO WORK IN THIS AREA.
- (D2) REMOVE EXISTING WALL AND ASSOCIATED COMPONENTS, PATCH NEWLY EXPOSED SURFACES AS NEEDED FOR NEW FINISHES.
- (D3) REMOVE AND SALVAGE EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- (D4) REMOVE AND SALVAGE EXISTING DOOR & SIDELITE, FRAME, AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- (D5) REMOVE AND SALVAGE EXISTING DOOR & SIDELITE, FRAME, AND ASSOCIATED HARDWARE FOR RE-USE WITHIN PROJECT.
- (D6) REMOVE EXISTING WINDOW AND FRAME.
- (D7) REMOVE EXISTING CASEWORK / MILLWORK, AND COUNTERTOP. REMOVE ALL ASSOCIATED EQUIPMENT, BASE, AND UPPER CABINETS. PREPARE WALL, CEILING, AND FLOOR TO RECEIVE NEW FINISHES.
- (D8) REMOVE EXISTING RECEPTION DESK, MILLWORK, COUNTERTOP, AND ALL ASSOCIATED HARDWARE. PREPARE FLOOR AND ADJACENT WALLS TO RECEIVE NEW FINISHES.
- (D9) REMOVE EXISTING FLOORING AS INDICATED. PREPARE FLOOR FOR NEW FINISH.
- (D10) REMOVE AND SALVAGE EXISTING SINK FOR RE-USE WITHIN PROJECT.
- (D11) REMOVE EXISTING TACKBOARD AND ASSOCIATED HARDWARE. PATCH/REPAIR WALLS TO RECEIVE NEW FINISHES.
- (D12) REMOVE EXISTING TALL STORAGE CASEWORK/MILLWORK AND ASSOCIATED HARDWARE. PATCH/REPAIR FLOOR AND WALLS TO RECEIVE NEW FINISHES.
- (D13) NOT USED.
- (D14) REMOVE EXISTING LIGHT FIXTURE. COORDINATE EXTENTS AND SCOPE WITH ELECTRICAL.
- (D15) REMOVE EXISTING GYPSUM CEILING SYSTEM, GRILLES, AND ACCESS PANELS WHERE OCCUR. RETAIN & PROTECT EXISTING FIRE SPRINKLER SYSTEM AND HEADS.
- (D16) EXISTING FLOORING AND BASE TO REMAIN.
- (D17) REMOVE EXISTING PENDANT LIGHT FIXTURES AND CABLES FROM SECOND LEVEL CEILING ABOVE. COORDINATE EXTENTS AND SCOPE WITH ELECTRICAL.
- (D18) REMOVE AND SALVAGE EXISTING FIRE ALARM PULL AND HORN STROBE FOR RE-USE WITHIN PROJECT.
- (D19) REMOVE AND SALVAGE EXISTING BASE CABINETS FOR RE-USE WITHIN PROJECT. RE-FINISH CABINET MATERIAL TO MATCH NEW CONSTRUCTION.
- (D20) REMOVE AND SALVAGE EXISTING BULLETIN BOARD AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- (D21) EXISTING BULLETIN BOARD TO REMAIN.
- (D22) EXISTING FIRST AID KIT TO REMAIN.
- (D23) (DEDUCT ALTERNATE) REMOVE PORTION OF EXISTING RECEPTION DESK, MILLWORK, AND COUNTERTOP AS INDICATED. PREPARE RECEPTION DESK TO REMAIN FOR MODIFICATIONS AS INDICATED IN NEW CONSTRUCTION.
- (D24) (DEDUCT ALTERNATE) PORTION OF EXISTING RECEPTION DESK TO REMAIN.
- (D25) (DEDUCT ALTERNATE) REMOVE PORTION OF EXISTING PENDANT LIGHT FIXTURES (MINIMUM OF 2) AND CABLES FROM SECOND LEVEL CEILING ABOVE. MATCH EXTENTS OF MODIFIED RECEPTION DESK. COORDINATE WITH ELECTRICAL.

DEMOLITION SYMBOLS LEGEND



1 LEVEL 1 DEMOLITION FLOOR PLAN
 A101 1/4" = 1'-0"
 NORTH



2 LEVEL 1 DEMOLITION REFLECTED CEILING PLAN
 A101 1/4" = 1'-0"
 NORTH

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**LEVEL 1 DEMOLITION
 FLOOR AND
 REFLECTED CEILING
 PLAN**

A101

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**LEVEL 1 FLOOR AND
REFLECTED CEILING
PLAN**

A121

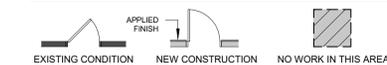
GENERAL NOTES

1. ALL DESIGN AND CONSTRUCTION IS TO FOLLOW LOCAL JURISDICTIONS AND BUILDING CODE REQUIREMENTS.
2. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO THOROUGHLY REVIEW ALL DRAWINGS AND SPECIFICATIONS PRIOR TO WORK. VERIFY ALL EXISTING FIELD CONDITIONS AND NOTIFY ARCHITECT WHEN DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS CREATE A CONFLICT.
3. REFER TO PROJECT MANUAL FOR INFORMATION ON MATERIAL AND FINISH TAGS IN DRAWINGS.
4. AREAS DISTURBED BY REMOVAL OF EXISTING CONSTRUCTION ARE TO BE PATCHED & FINISHED TO MATCH SURROUNDING FINISH OR PREPARED TO RECEIVE NEW FINISH.
5. SEE SHEET G002 FOR TYPICAL INTERIOR PARTITION TYPES AND ASSEMBLIES.
6. DIMENSIONS ARE FROM FINISH FACE OF WALL, U.N.O.
7. FACE OF WALL FINISHES TO ALIGN WITH ADJACENT WALL FINISHES WHEN WALL CONTINUITY IS BROKEN BY HALLWAY, CASEWORK, ETC.
8. ALL WALL FINISHES TO BE ADDED ON TOP OF WALL ASSEMBLY.
9. ALL FLOOR MATERIAL TRANSITIONS TO BE FLUSH, U.N.O.
10. PROVIDE IN-WALL BLOCKING FOR ALL CASEWORK, FIXTURES, TOILET ACCESSORIES, SUPPORTS, SHELVING, ETC.
11. MECHANICAL, ELECTRICAL, PLUMBING, LOW VOLTAGE, AND OTHER DISCIPLINES/TRADES ELEMENTS ARE SHOWN FOR COORDINATION ONLY. REFER TO RESPECTIVE DISCIPLINE DRAWINGS FOR MORE INFORMATION.
12. ALL NEW WALLS EXTEND TO STRUCTURE ABOVE, UNLESS HEIGHT NOTED OTHERWISE. GYPSUM BOARD AND ANY ACOUSTIC INSULATION TO EXTEND FULL HEIGHT. NOTIFY ARCHITECT AND MECHANICAL ENGINEER IF ANY CONFLICTS ARISE WITH EQUIPMENT AND DUCTS.
13. WHERE NEW WORK INTERSECTS ANY FIRE RATED ASSEMBLIES, MAINTAIN THE EXISTING FIRE RATING.

GENERAL KEYNOTES

- 1 NO WORK IN THIS AREA.
- 2 PATCH AND REPAIR FLOOR AND WALLS WHERE PARTITION WALL WAS REMOVED. FINISH TO MATCH EXISTING.
- 3 PROVIDE AND INSTALL NEW HAND WASHING SINK WITH EJECTION PUMP UP AND OVER EXISTING HALLWAY. MATCH EXISTING TYPE AND FIXTURE.
- 4 PROVIDE AND INSTALL NEW SINK WITH EJECTION PUMP UP AND OVER EXISTING HALLWAY. MATCH EXISTING TYPE AND FIXTURE.
- 5 PROVIDE AND INSTALL NEW COUNTERTOP AND MILLWORK.
- 6 PROVIDE NEW DOOR AND FRAME. MATCH EXISTING.
- 7 RE-INSTALL SALVAGED SINK. PROVIDE AND INSTALL NEW FAUCET.
- 8 PATCH AND REPAIR FLOOR AND WALLS WHERE CASEWORK/MILLWORK WAS REMOVED. FINISH TO MATCH EXISTING.
- 9 NEW COUNTERTOP DISHWASHER. OWNER PROVIDED. G.C. INSTALLED.
- 10 RELOCATED EXISTING BENCH.
- 11 PROVIDE AND INSTALL NEW RECEPTION DESK, RE-FINISHED BASE CABINETS, AND COUNTERTOP.
- 12 PROVIDE AND INSTALL NEW FULL HEIGHT GLASS STOREFRONT SYSTEM AND DOOR. DOOR HARDWARE TO INCLUDE PUNCH CODE AT ENTRY AND ACCESS READER TIED TO BUZZER AT RECEPTION DESK FOR QUICK RELEASE.
- 13 NOT USED.
- 14 RE-INSTALL SALVAGED DOOR AND SIDE LITE. REPAIR ALL EXISTING DOOR HARDWARE IF ACCEPTABLE. IF NOT PROVIDE AND INSTALL NEW DOOR HARDWARE SET. MATCH EXISTING.
- 15 RE-INSTALL AND REPOSITION SALVAGED FIRE ALARM PULL AND HORN STROBE. TIE INTO EXISTING FIRE ALARM PROTECTION SYSTEM.
- 16 (DEDUCT ALTERNATE) PORTION OF EXISTING RECEPTION DESK TO REMAIN. MODIFY AND FINISH END PANEL TO MATCH EXISTING.
- 17 (DEDUCT ALTERNATE) PATCH AND REPAIR FLOORING TO MATCH EXISTING.

WALL / PARTITION LEGEND

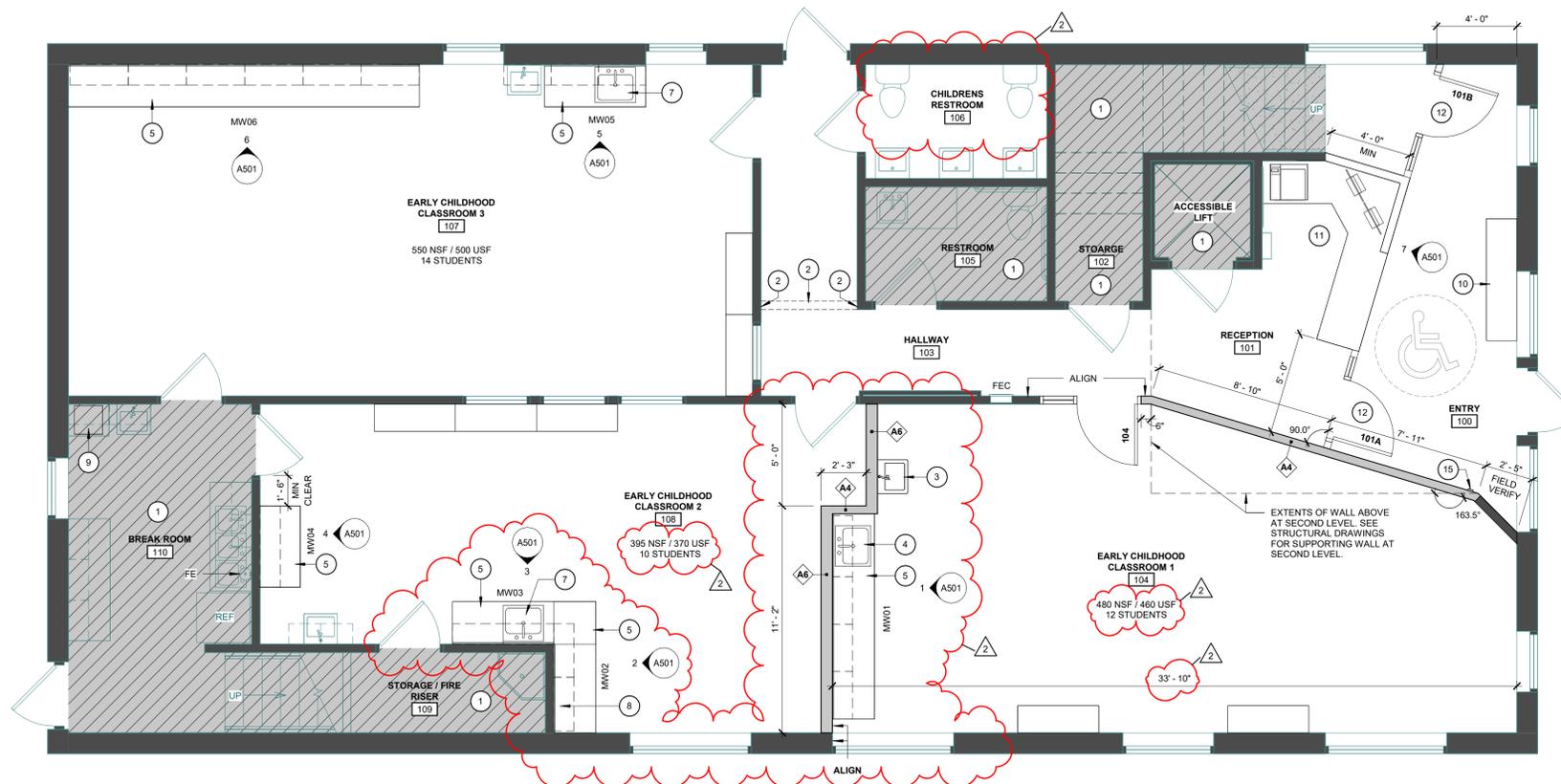


GENERAL REFLECTED CEILING PLAN NOTES

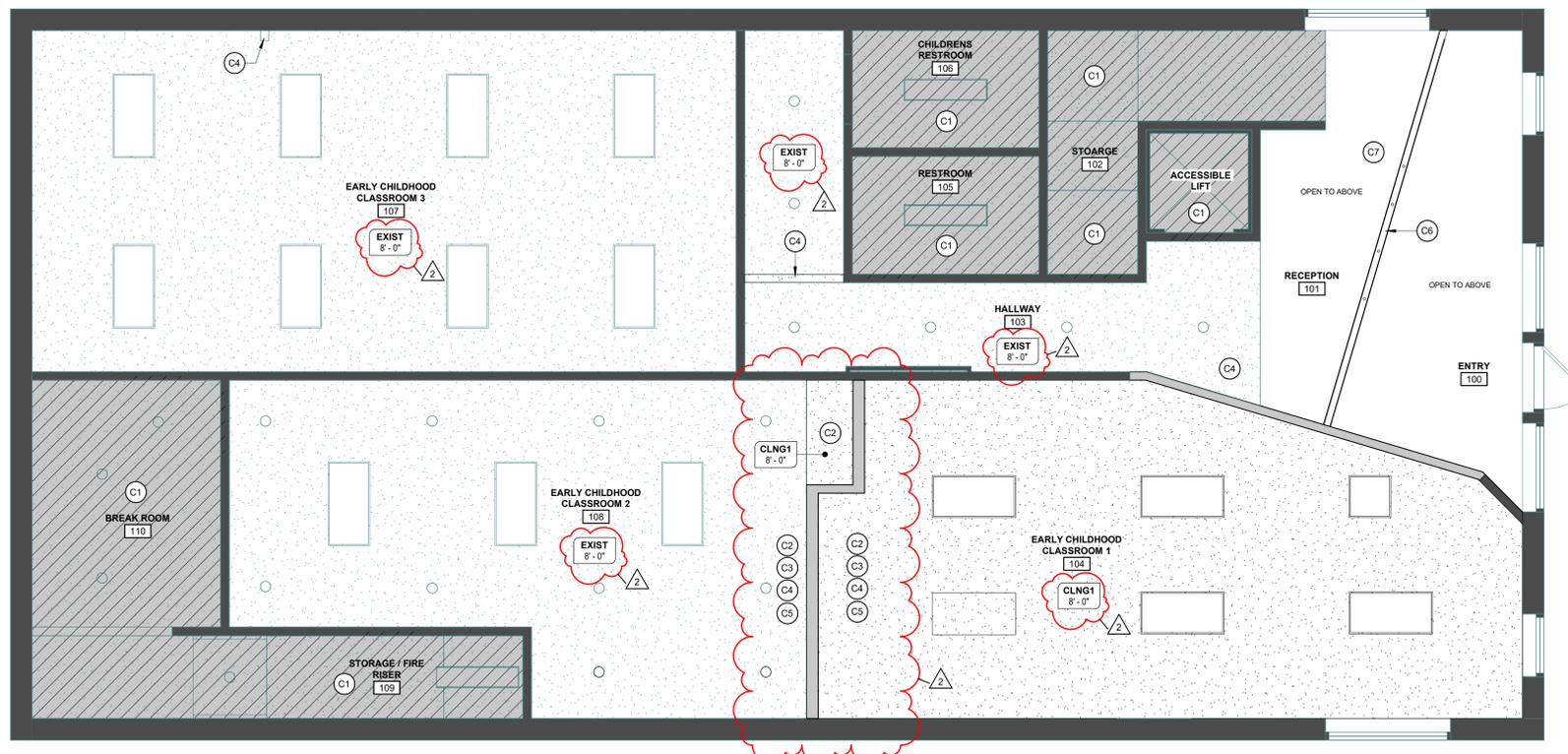
1. LIGHTING SYMBOLS ON THIS DRAWING INDICATE PRESENCE OF FIXTURE FOR COORDINATION PURPOSE ONLY. SEE LIGHTING DRAWINGS FOR DETAILS AND DIMENSIONING.
2. MEP ON THIS DRAWING INDICATE PRESENCE OF MEP DEVICE FOR COORDINATION. SEE MECHANICAL DRAWINGS FOR ADDITIONAL DETAILS.
3. REFER TO THE FINISH PLANS FOR PAINT FINISH AND COLOR TO DRYWALLS, CEILINGS, BULKHEADS, AND EXPOSED STRUCTURE WHERE APPLICABLE.
4. ALL EXPOSED SPRINKLER PIPES AND SPRINKLER HEAD LOCATIONS NEED TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION VIA SHOP DRAWING AND SITE VISIT PROCESS.
5. ALL SPRINKLER HEADS ARE TO MATCH EXISTING U.N.O.
6. LIGHT FIXTURES ARE SHOWN FOR REFERENCE ONLY. SEE LIGHTING PLAN SHEETS FOR ADDITIONAL INFORMATION.

REFLECTED CEILING PLAN KEYNOTES

- C1 NO WORK IN THIS AREA.
- C2 GYPSUM BOARD CEILING TYPE TO MATCH EXISTING. VERIFY IN FIELD.
- C3 CEILING HEIGHT TO BE 8'-0" U.N.O. TO MATCH EXISTING. VERIFY IN FIELD.
- C4 PATCH AND REPAIR CEILING WHERE PARTITION WALL WAS REMOVED. FINISH TO MATCH EXISTING.
- C5 MODIFY EXISTING FIRE SPRINKLER SYSTEM AS REQUIRED PER NEW MODIFIED FLOOR AND CEILING PLANS. REPLACE SPRINKLER HEADS WITH SAME HEAD TYPE AS EXISTING.
- C6 HEADER ABOVE ALUMINUM STOREFRONT SYSTEM. SEE ELEVATIONS.
- C7 PATCH AND REPAIR AREA WHERE LIGHT FIXTURE CABLES FROM CEILING LEVEL ABOVE WERE REMOVED. FINISH AND PAINT TO MATCH EXISTING.

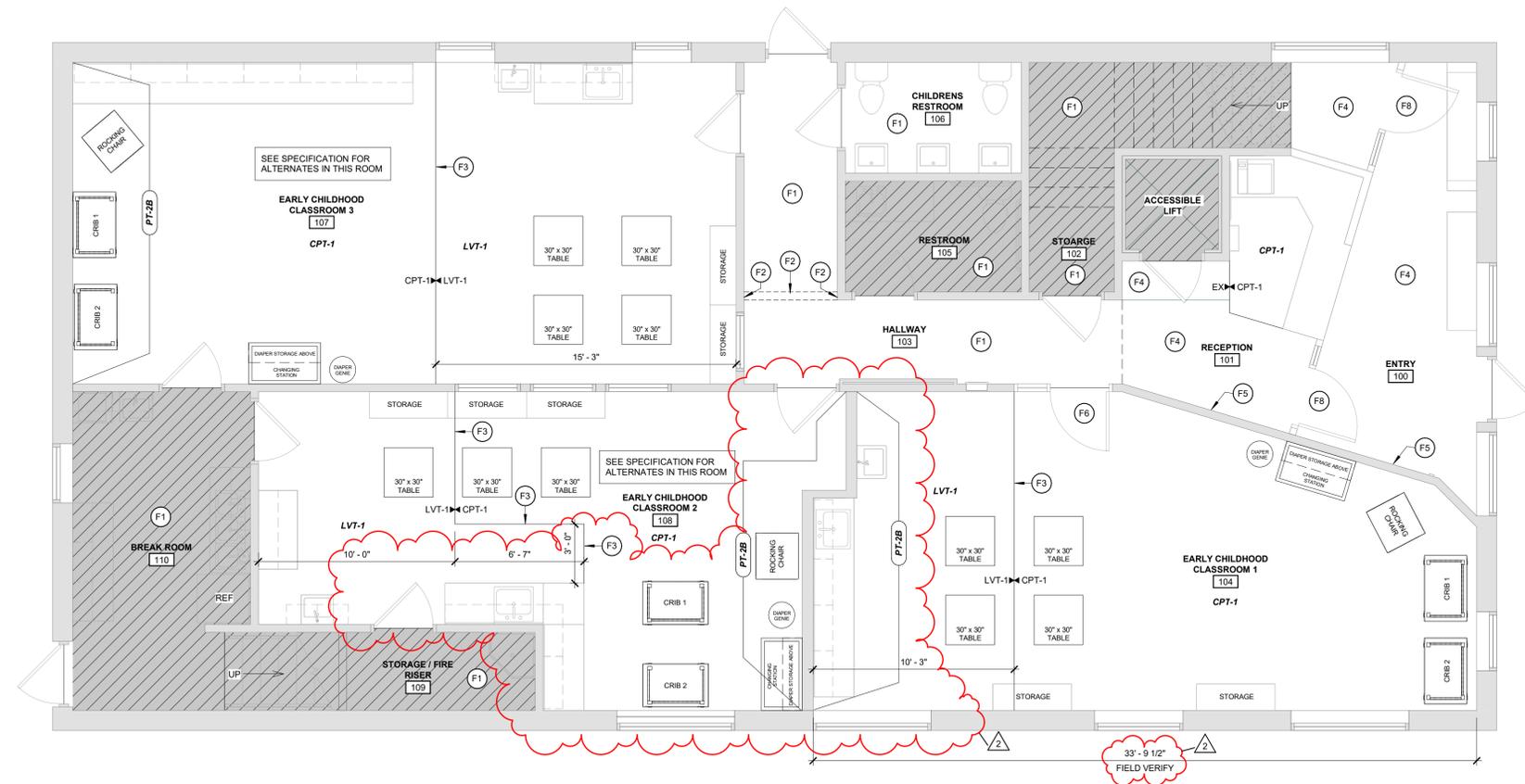


1 LEVEL 1 FLOOR PLAN
A121 1/4" = 1'-0"



2 LEVEL 1 REFLECTED CEILING PLAN
A121 1/4" = 1'-0"





FINISH PLAN KEY



FINISH GENERAL NOTES

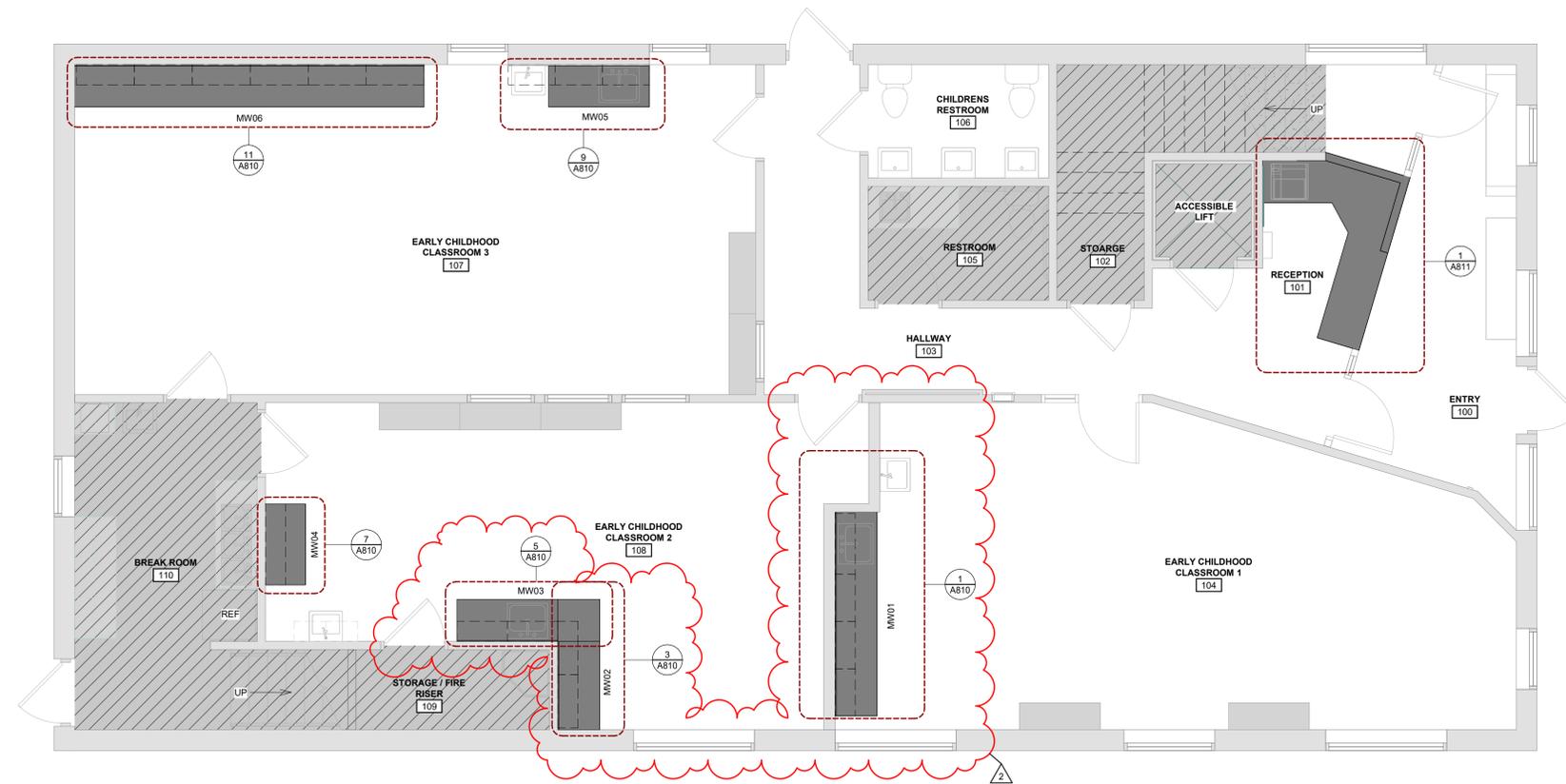
- SEE PROJECT MANUAL SPECIFICATION FOR KEY TO FINISH CODES.
- COORDINATE EXTENT OF FLOOR AND WALL FINISHES WITH MILLWORK DRAWINGS.
- ALL PATCHED OR REPAIRED GWB CEILINGS TO BE PAINTED TO MATCH EXISTING U.N.O.
- ALL HOLLOW METAL DOORS AND DOOR FRAMES TO BE PAINTED TO MATCH EXISTING U.N.O. SEE SPECIFICATION.
- INSTALLER RESPONSIBLE FOR FIELD VERIFYING ALL QUANTITIES, DIMENSIONS AND CONDITIONS FOR WINDOW TREATMENTS. ALL SHADES SHALL BE FULL WIDTH WITH NO SEAMS OR BATTENS. INSTALLER RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS FOR APPROVAL.
- OWNER SHALL APPROVE ALL PAINT COLORS AND LOCATION PRIOR TO NEW CONSTRUCTION.

FINISH KEYNOTES

- NO WORK IN THIS AREA.
- PATCH AND REPAIR FLOOR AND WALLS WHERE PARTITION WALL WAS REMOVED. FINISH TO MATCH EXISTING.
- PROVIDE AND INSTALL VINYL TRANSITION STRIP.
- EXISTING FLOOR FINISHES TO REMAIN.
- PROVIDE AND INSTALL WOOD BASE TO MATCH EXISTING. SEE SHEET G001 FOR ADDITIONAL INFORMATION.
- PAINT DOOR FRAME TO MATCH EXISTING.
- PROVIDE AND INSTALL RESILIENT WALL BASE. MATCH EXISTING.
- PAINT ALUMINUM STOREFRONT SYSTEM, DOORS, AND HEADER ABOVE TO MATCH EXISTING BUILDING STOREFRONT.

1 LEVEL 1 FINISH & FURNITURE PLAN
A131 1/4" = 1'-0"

FURNITURE PROVIDED BY OWNER IS SHOWN FOR REFERENCE ONLY



2 LEVEL 1 MILLWORK PLAN
A131 1/4" = 1'-0"

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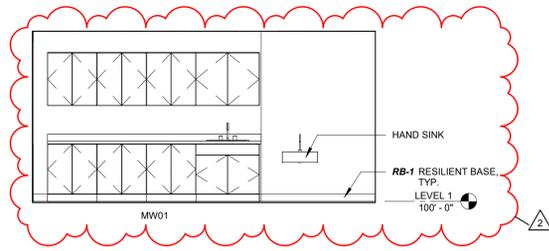
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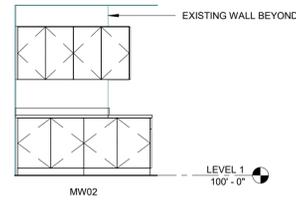
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	04/18/2025	PERMIT SET

LEVEL 1 FINISH & FURNITURE, AND MILLWORK PLAN

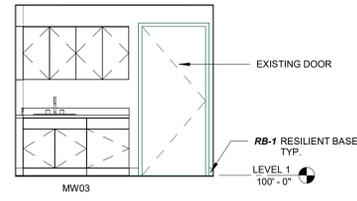
A131



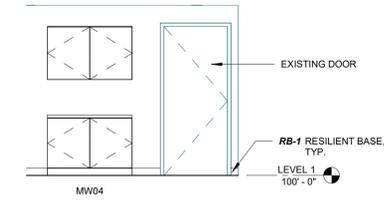
1 EARLY CHILDHOOD CLASSROOM 1 - ELEVATION
A501 1/4" = 1'-0"



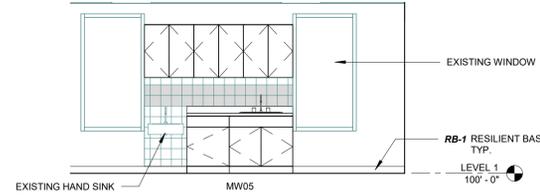
2 EARLY CHILDHOOD CLASSROOM 2 - ELEVATION
A501 1/4" = 1'-0"



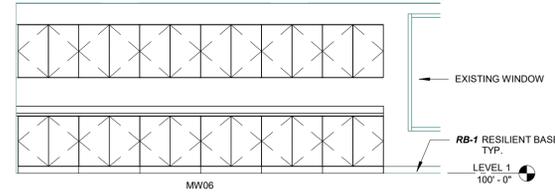
3 EARLY CHILDHOOD CLASSROOM 2 - ELEVATION
A501 1/4" = 1'-0"



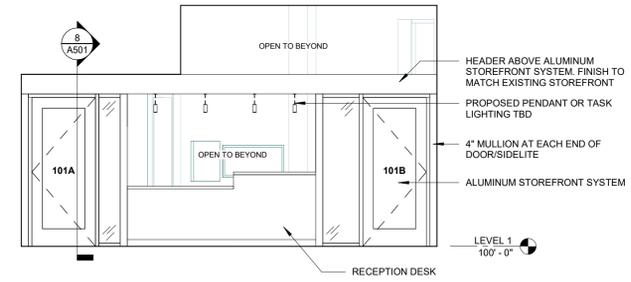
4 EARLY CHILDHOOD CLASSROOM 2 - ELEVATION
A501 1/4" = 1'-0"



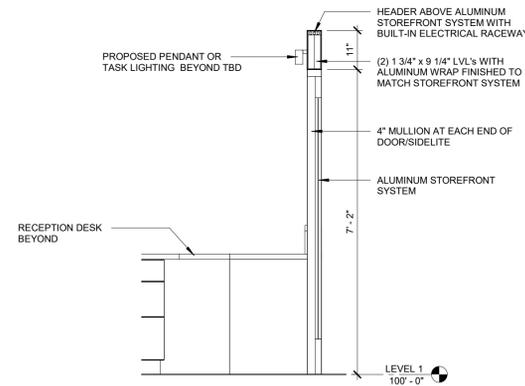
5 EARLY CHILDHOOD CLASSROOM 3 - ELEVATION
A501 1/4" = 1'-0"



6 EARLY CHILDHOOD CLASSROOM 3 - ELEVATION
A501 1/4" = 1'-0"



7 RECEPTION - ELEVATION
A501 1/4" = 1'-0"



8 SECTION @ VESTIBULE DOOR
A501 1/2" = 1'-0"

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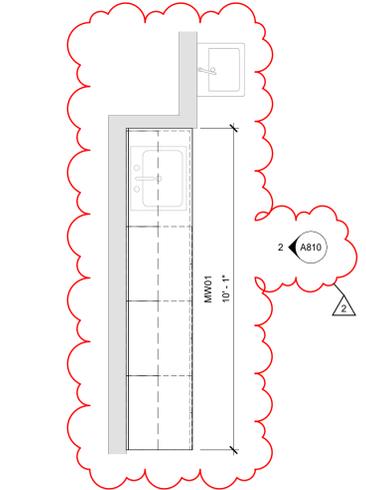
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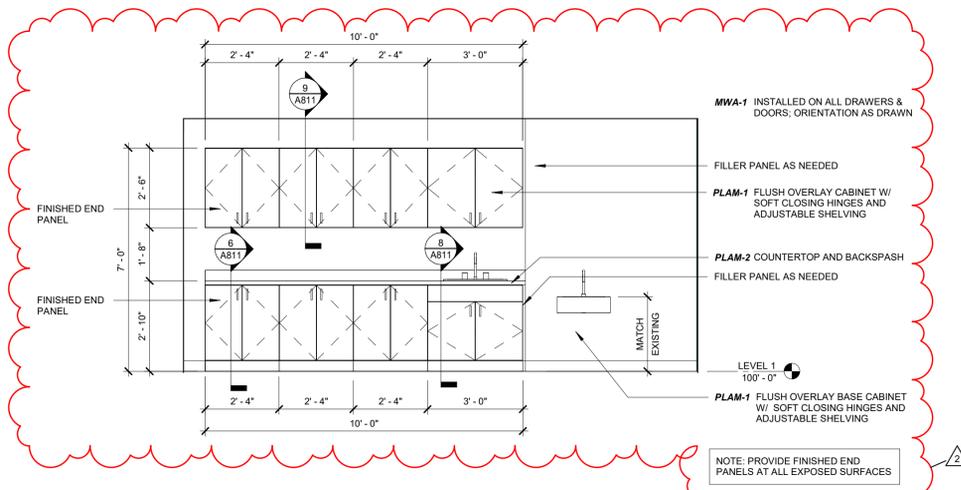
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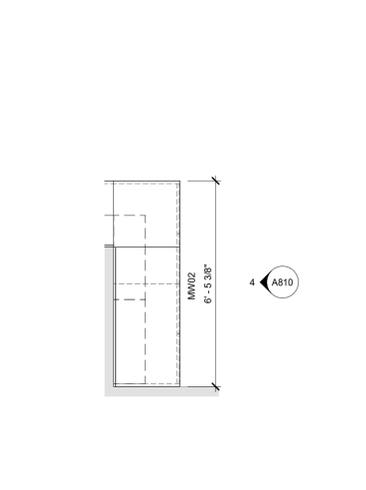
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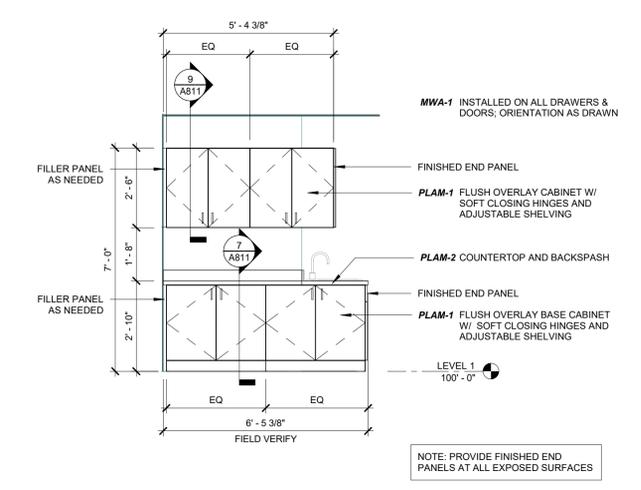
1 MW01 ENLARGED MILLWORK PLAN
A810 3/8" = 1'-0"



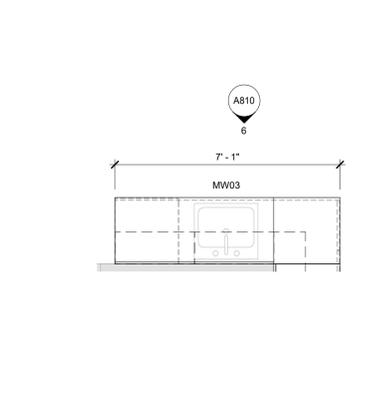
2 MW01 MILLWORK ELEVATION
A810 3/8" = 1'-0"



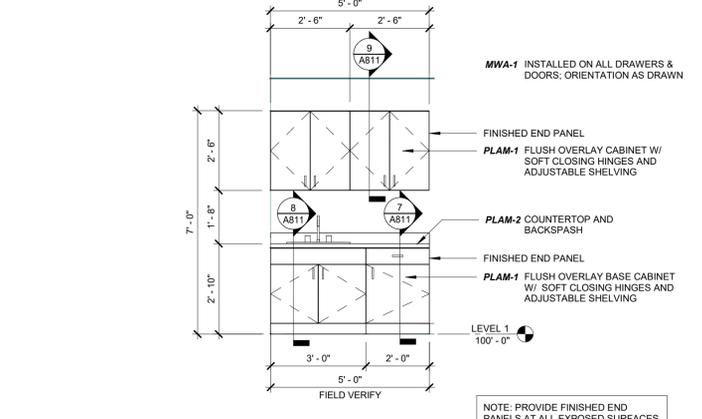
3 MW02 ENLARGED MILLWORK PLAN
A810 3/8" = 1'-0"



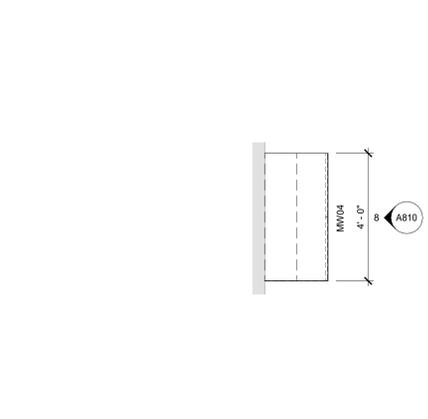
4 MW02 MILLWORK ELEVATION
A810 3/8" = 1'-0"



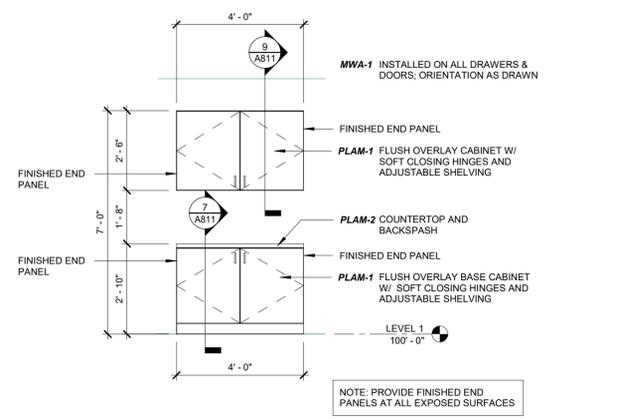
5 MW03 ENLARGED MILLWORK PLAN
A810 3/8" = 1'-0"



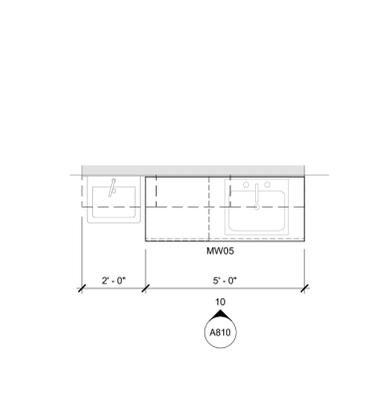
6 MW03 MILLWORK ELEVATION
A810 3/8" = 1'-0"



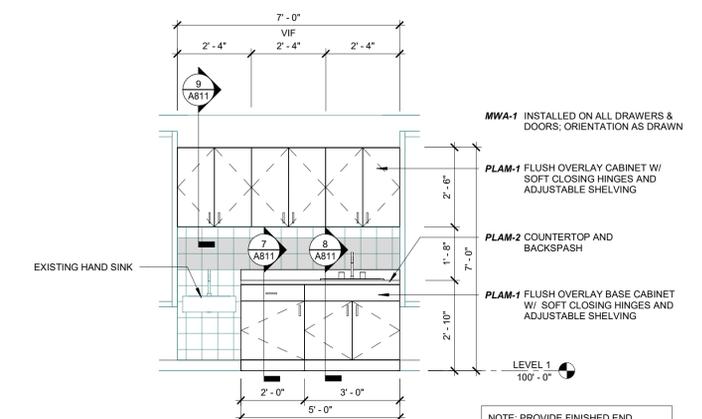
7 MW04 ENLARGED MILLWORK PLAN
A810 3/8" = 1'-0"



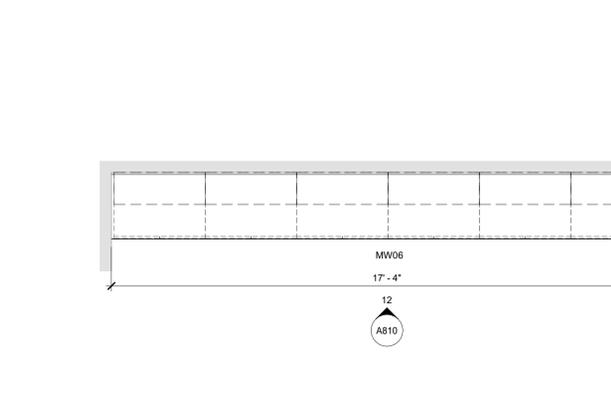
8 MW04 MILLWORK ELEVATION
A810 3/8" = 1'-0"



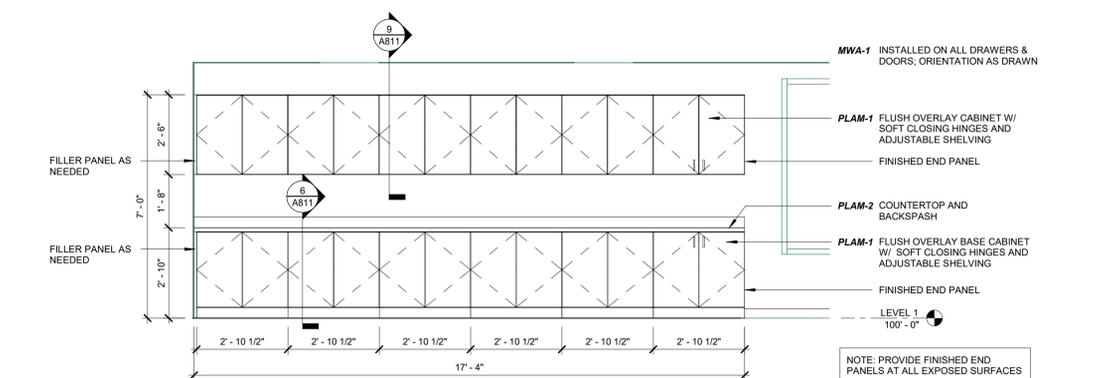
9 MW05 ENLARGED MILLWORK PLAN
A810 3/8" = 1'-0"



10 MW05 MILLWORK ELEVATION
A810 3/8" = 1'-0"



11 MW06 ENLARGED MILLWORK PLAN
A810 3/8" = 1'-0"



12 MW06 MILLWORK ELEVATION
A810 3/8" = 1'-0"

DOOR HARDWARE GROUPS

HARDWARE GROUP 001 (BY ALUMINUM SUBCONTRACTOR)
(INTERIOR VESTIBULE ALUMINUM ENTRANCE)

FOR USE ON DOOR (S): 101A, 101B
PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1 EA	CONT. HINGE	112XY	626	IVE
1 EA	STOREROOM LOCK	WS81P6 LAT	626	FAL
1 EA	ELECTRIC STRIKE	CS450 12/24 VDC	630	LOC
1 EA	OH STOP	100S	630	GLY
1 EA	SURFACE CLOSER	SC81A REG OR PA AS REQ FC	689	FAL
1 EA	MOUNTING PLATE	SC28A-18PA	689	FAL
1 EA	CUSH SHOE SUPPORT	SC80A-30	689	FAL
1 EA	BLADE STOP SPACER	SC80A-61	689	FAL
1 EA	WIRE HARNESS	CON-XX AS REQUIRED	SCH	
1 EA	CARD READER	BY SECURITY CONTRACTOR	BLK	SCE
1 EA	DOOR CONTACT	7764 / 679-05 AS REQUIRED	630	SCE
1 EA	POWER SUPPLY	BY SECURITY CONTRACTOR	LGR	SCE
1	SEALS	BY DOOR / FRAME MANUFACTURER		

DOOR IS NORMALLY LOCKED. RESTRICTING ENTRY. AUTHORIZED CREDENTIAL AT OUTSIDE CARD READER MOMENTARILY RELEASES ELECTRIC STRIKE TO ALLOW ENTRY OR BY KEY. INSIDE LEVER ALWAYS ALLOWS EGRESS.

HARDWARE GROUP 002
(CLASSROOM LOCK FUNCTION)

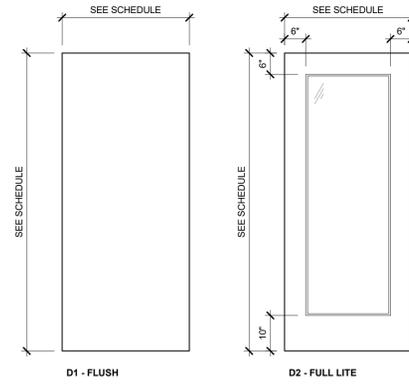
FOR USE ON DOOR: 104
PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION
3 EA	HINGE
1 EA	CLASSROOM LOCKSET
1 EA	PERMANENT CORE
1 EA	WALL STOP
3 EA	SILENCER

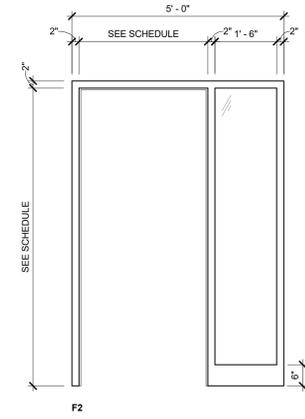
REMARKS: MATCH EXISTING TYPE AND MATERIAL.

DEADLOCKING LATCH BOLT BY KNOBS/LEVERS. OUTSIDE KNOB/LEVEL LOCKED BY KEY OUTSIDE. INSIDE KNOB/LEVER ALWAYS FREE.

DOOR NO	DOOR					FRAME				FIRE	HDWR	COMMENTS	
	WIDTH	HEIGHT	THICKNESS	TYPE	MAT'L	HEAD	SILL	JAMB	TYPE				MAT'L
101A	3'-0"	7'-0"	1.34"	D2	ALUGL	--	--	--	F2	AL	--	001	
101B	3'-0"	7'-0"	1.34"	D2	ALUGL	--	--	--	F2	AL	--	001	
104	3'-0"	7'-0"	1.34"	D1	WD	--	--	--	F2	HM	--	002	RE-USE EXISTING DOOR, FRAME, AND DOOR HARDWARE IF IN ACCEPTABLE CONDITION



1 DOOR TYPES
A601 1/2" = 1'-0"



2 FRAME TYPES
A601 1/2" = 1'-0"

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- KEYNOTES**
- 1 RELOCATED RETURN GRILLE AND DUCTWORK. CONTRACTOR TO CONNECT TO CLOSEST RETURN DUCT AND BALANCE TO VALUE FROM PRE-READ OR BALANCE TOTAL OF BOTH RETURN GRILLES IN THIS CLASSROOM TO THE TOTAL OF THE (3) SUPPLY DIFFUSERS.
 - 2 RELOCATED THERMOSTAT TO THIS LOCATION THAT RUNS THE FURNACE, A/C UNIT FOR THE FIRST FLOOR. UNIT LOCATED ON SECOND FLOOR IN MECHANICAL ROOM. CONTRACTOR TO FURNISH AND INSTALL WALL MOUNTED INDOOR UNIT FOR MINI SPLIT SYSTEM. SEE SCHEDULE FOR MANUFACTURER AND MODEL NUMBER.
 - 3 PROVIDE OPTIONAL WIRED THERMOSTAT FOR MINI-SPLIT. THIS ENSURES THE UNIT WILL OPERATE CORRECTLY AND NOT RELY ON BATTERY POWER AT A WIRELESS REMOTE. COORDINATE MOUNTING LOCATION & HEIGHT WITH ARCHITECT.
 - 4 PROVIDE AND INSTALL OUTDOOR CONDENSING UNIT BEHIND EXISTING CHAIN LINK FENCE.
 - 5 CONTRACTOR TO PROVIDE PRICE FOR FENCING AROUND NEW CONDENSING UNIT FOR CHILD SAFETY.
 - 6

Architecture and Interiors

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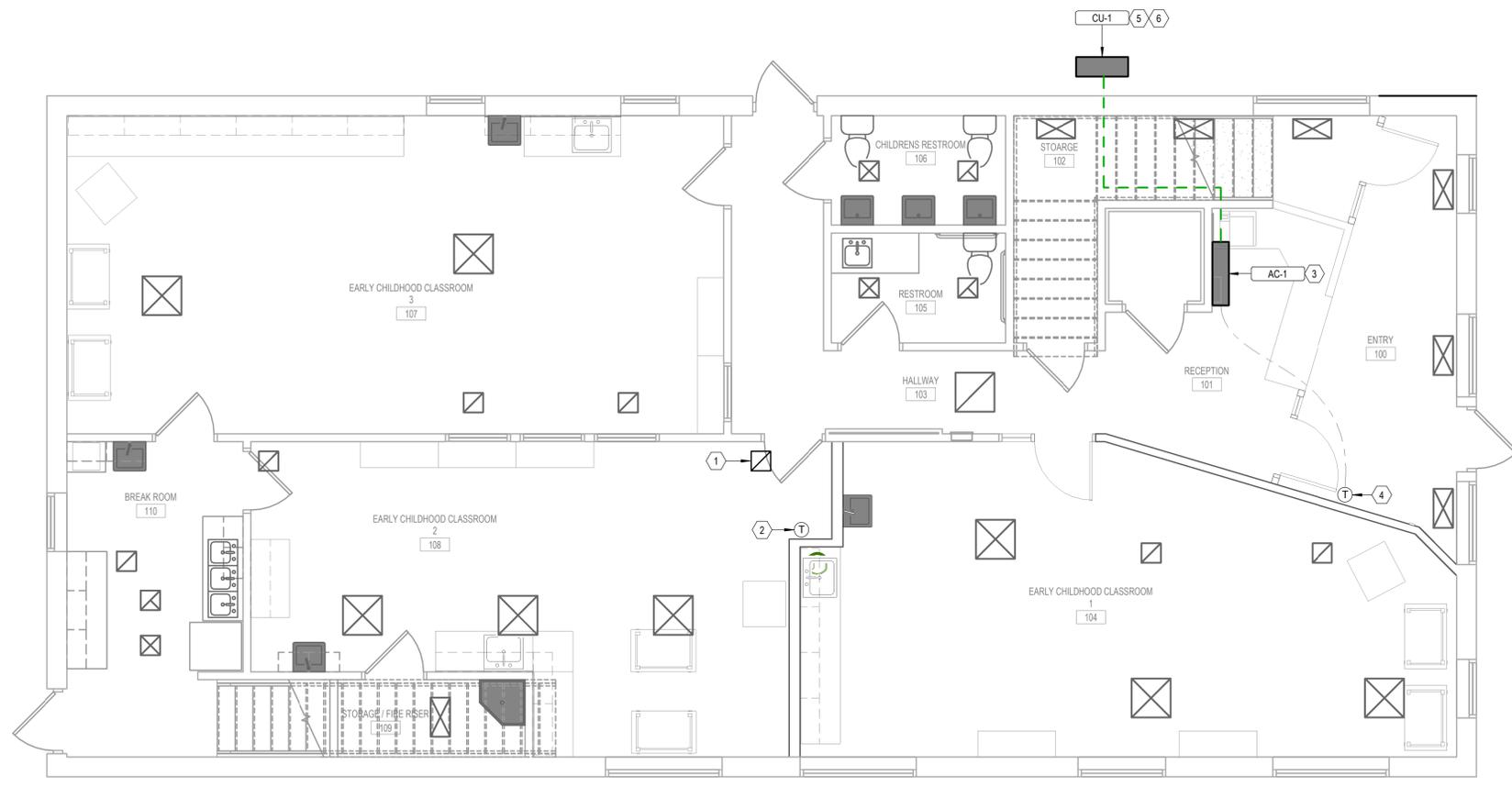


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info@resolutgroup.com | resolutgroup.com

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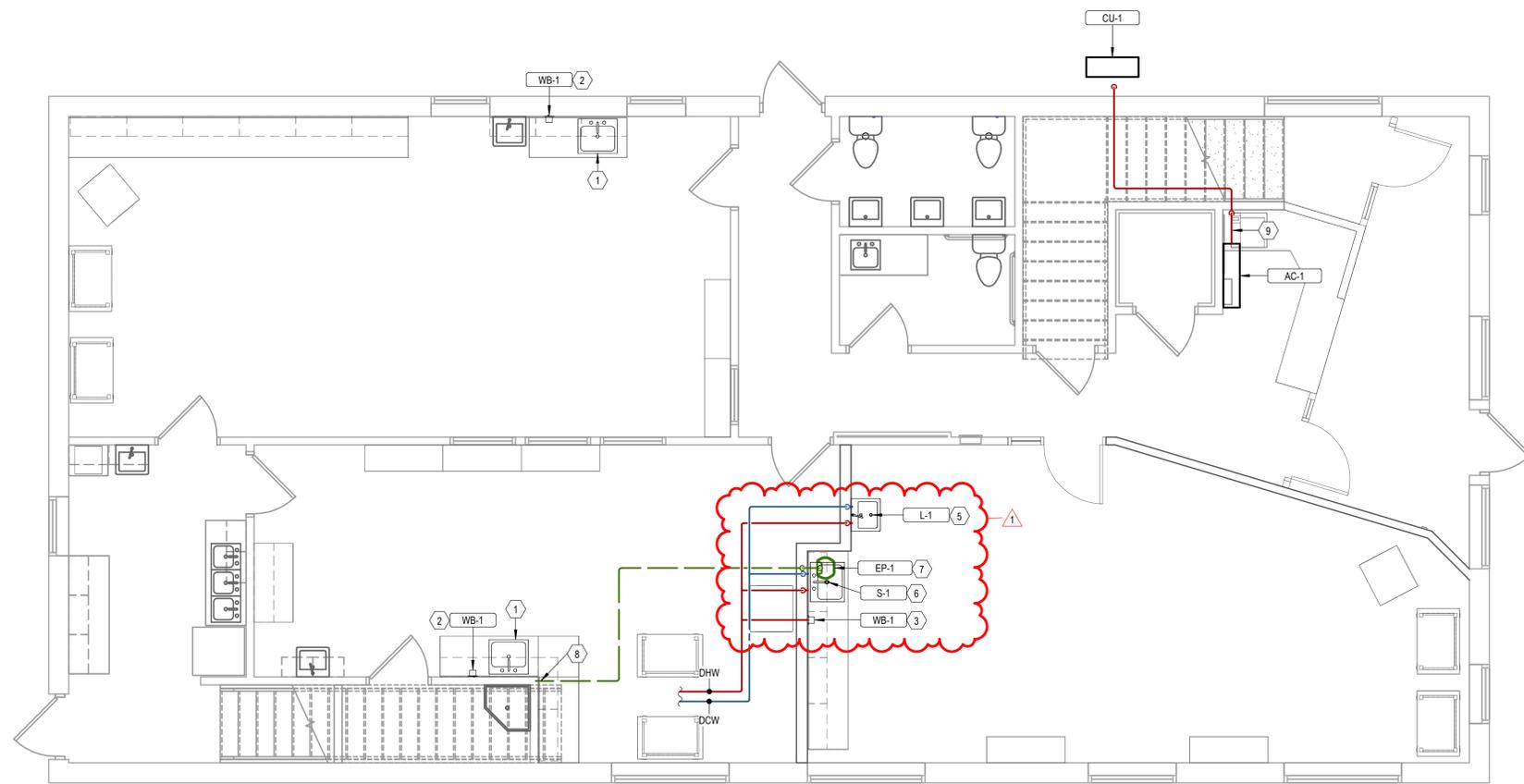
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**LEVEL 1
MECHANICAL HVAC
PLAN**

M101

KEYNOTES

- 1 RE-USED COUNTER MOUNTED SINK AND FAUCET TO BE INSTALLED IN NEW MILLWORK.
- 2 NEW IN WALL WASHER BOX TO PROVIDE HOT WATER CONNECTION AND DRAIN FOR COUNTER MOUNTED DISHWASHER. OWNER PROVIDED DISHWASHER WITH EXACT MODEL UNKNOWN AT THIS TIME. CONNECT DOMESTIC HOT WATER TO SINK SUPPLY AND DRAIN TO TAIL PIECE OF SINK.
- 3 NEW IN WALL WASHER BOX TO PROVIDE HOT WATER CONNECTION AND DRAIN FOR COUNTER MOUNTED DISHWASHER. OWNER PROVIDED DISHWASHER WITH EXACT MODEL UNKNOWN AT THIS TIME. CONNECT DOMESTIC HOT WATER TO SINK SUPPLY AND DRAIN TO UNDER SINK EJECTION PUMP/TANK.
- 4 DELETED
- 5 FURNISH AND INSTALL NEW WALL MOUNTED HAND WASH LAVATORY. DRAIN TO EJECTOR PUMP WITH TANK.
- 6 FURNISH AND INSTALL NEW COUNTER MOUNTED SINK. EXTEND WATER UTILITIES FROM MOP SINK AREA. DRAIN TO EJECTOR PUMP WITH TANK.
- 7 BELOW COUNTER DRAIN COLLECTION TANK WITH PUMP. SEE PLUMBING FIXTURE SCHEDULE FOR MANUFACTURER AND MODEL.
- 8 ROUTE DRAIN PIPING FROM EP-1. EJECTOR PUMP WITH TANK TO WASTE PIPING OF EXISTING SINK IN THIS AREA.
- 9 PLUMBING CONTRACTOR TO PROVIDE AND INSTALL CONDENSATE PIPING FROM NEW INDOOR WALL MOUNTED UNIT TO EXTERIOR. PROVIDE 3/4" COPPER PIPING WITH THE FIRST 10 FEET INSULATED FOR CONDENSATION CONTROL. WASTE TO BARK COVERED LANDSCAPE STRIP ADJACENT TO SIDEWALK. INSTALL INSECT SCREEN AT OPENING. DISCHARGE AT 12" ABOVE GRADE.



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 SALT LAKE CITY, UT 84107



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 Date _____ License No _____

PERMIT SET

Mark	Date	Description
1	05/20/2025	ADDENDUM #1

**LEVEL 1 PLUMBING
 PLAN**

P101

MODEL 406

Compact Drain Pump



1/6 hp
1/8" Solids Handling

Features

- Factory pre-assembled, ready to install
- Quiet automatic operation
- Short profile design for compact areas – only 10" tall (base to top inlet flange)
- Float switch and pump serviceability via access cover
- Wet-end serviceability via removable pump "cartridge" – simple, 1/4 turn removal
- Rubber gasket for a superior gas-tight seal
- Floor-level side inlets, with integral check valve and couplings included for convenient plumbing
- Stepped discharge adapter – 1", 1.25", 1.5", with integral check valve

Applications

- Bar sinks
- Laundry trays
- Dehumidifiers
- Utility sinks
- Gray wastewater drainage below gravity lines
- Showers



Patent: See www.LibertyPumps.com/patents



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Model 406

Features

- Compact design for tight areas and in cabinets
- Factory pre-assembled
- Fully automatic operation
- Wet-end serviceability with easy to remove motor cartridge
- Integral check valve at bottom inlet connections
- Rubber gaskets for a superior gas-tight seal
- Float switch can be accessed and serviced without disconnecting piping
- Air-cooled motor with thermal-overload protection
- 9', 3-wire power cord with grounded plug
- Corrosion-resistant ABS basin with molded-in connections
- Maintenance free, permanently lubricated sealed bearings
- 1/8" Solids handling

Maximum Fluid Temperature

104°F (40°C) continuous duty
140°F (60°C) intermittent duty (10 seconds on/5 seconds off)

Motor Specifications

1/6 hp
Air-cooled, Thermally Protected

Dimensional Data

Weight: 13.5 lbs
Major Height: 14.1"
Major Width: 13.2"

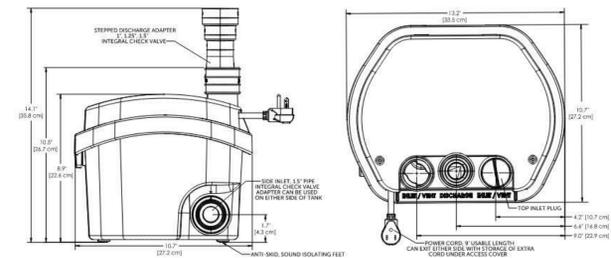
Included Connection Kit

- 1 Stepped discharge adapter – 1", 1.25", 1.5", with integral check valve
- 1 Side inlet coupling (1.5") with integral check valve
- 1 Top vent coupling (1.5")
- 1 Top inlet coupling (1.5")
- 2 Pre-installed side inlet plugs
- 1 Pre-installed top inlet plug
- 7 Stainless-steel clamps

Performance Curve



For proper performance, pipe inflow cannot exceed pump discharge capacity at the installed head level. For technical assistance, consult the factory at 1-800-543-2550.



Models and Specifications

MODEL	HP	AMPS	VOLTS	FREQUENCY	INLET CONNECTIONS	INTEGRAL CHECK VALVE
406	1/6	1.7	115	60 Hz	1.5"	One on discharge One on side inlet
1806-1V	1/6	1.9	200/230	60 Hz	1.5"	One on discharge One on side inlet

406 Models are CSA Certified to the UPC, IPC, and NPC requirements of ASME A112.3.4 / CSA B45.9

Specifications subject to change without notice.

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Liberty Pumps - 7000 Apple Tree Avenue - Bergen, New York 14416
Phone 800-543-2550 - Fax 585-494-1839 - www.LibertyPumps.com

BRANCH WATER LINE SCHEDULE

FIXTURE	FIXTURE UNITS	QUANTITY OF FIXTURES SERVED BY					
		1/2"	3/4"	1"	1-1/4"	1-1/2"	2"
WATER CLOSET (FLUSH VALVE)	10	---	---	1	3	5	15
WATER CLOSET (TANK TYPE)	3	1	2	4	10	---	---
URINAL	5	---	1	2	6	10	30
LAVATORY	2	1	3	6	15	25	---
SERVICE SINK	4	1	3	6	---	---	---
QUANTITY OF FIXTURE UNITS SERVED BY	---	3	6	12	30	50	150

NOTE: WHERE PIPING IS SIZED ON DRAWINGS IT SHALL BE FOLLOWED. OTHERWISE INSTALL ACCORDING TO TABLE. WHERE FIXTURES ON A BRANCH ARE MIXED, TAKE THE SUM OF FIXTURE UNITS TO DETERMINE SIZING. THE BRANCHES SHALL BE REDUCED AS THE LOAD IS TAKEN OFF. MINIMUM SIZE TO ONE (1) FIXTURE SHALL BE 1/2".

PLUMBING FIXTURE SCHEDULE

ID	FIXTURE	CW (IN)	HW (IN)	W (IN)	V (IN)	DESCRIPTION	NOTES
WC-1	DELETED						
L-1	LAVATORY	1/2	1/2	1 1/2	1 1/2	WALL HUNG, VITREOUS CHINA, GOOSENECK WITH WRIST BLADES INSTALL AT CHILDS HEIGHT DEFINED BY ARCHITECT	SINK: KOHLER K2031, GREENWICH, 20" X 18", VITREOUS CHINA, WITH FRONT OVERFLOW, THREE HOLE DRILLING. MOEN 8938 FAUCET WITH GOOSENECK, 1.2 GPM, FLEXIBLE STAINLESS STEEL SUPPLIES WITH WITH LOOSE KEY ANGLE STOPS. CHICAGO 327-XCP OPEN-GRID STRAINER AND CAST BRASS P-TRAP WITH CLEAN OUT PLUG, SMITH 0700-Z CONCEALED ARM CHAIR CARRIER WITH FOOT SUPPORT. PROVIDE ADA COMPLIANT UNDER COUNTER PIPING WRAP BY TRUE-BRO, COLOR TO BE WHITE.
S-1	SINK	1/2	1/2	1 1/2	1 1/2	COUNTER MOUNTED STAINLESS STEEL SINK, GOOSENECK FAUCET WITH WRIST BLADES	SINK: ELKAY LRADQ151756PD 12" X 12" X 5-1/2" I.D. COUNTER MOUNT 18 GA. STAINLESS STEEL SINK WITH 3 HOLES ON 4" CENTERS DRILLING. MOEN 8938 FAUCET WITH GOOSENECK, 1.2 GPM, FLEXIBLE STAINLESS STEEL SUPPLIES WITH WITH LOOSE KEY ANGLE STOPS. CHICAGO 327-XCP OPEN-GRID STRAINER AND CAST BRASS P-TRAP WITH CLEAN OUT PLUG, AND ELKAY PERFECT GRID DRAIN LKPDVR188 OPEN-GRID STRAINER MOUNTED FLUSH WITH SINK BOTTOM.
WB-1	WATER BOX WITH DRAIN	-	1/2	1 1/2	1 1/2	FLUSH MOUNTED IN WALL, WATER SUPPLY, WITH DRAIN	WATER-TITE W8902HA WATER OUTLET BOX WITH QUARTER TURN BALL VALVE AND WATER HAMMER ARRESTOR. ONLY INSTALL HOT WATER CONNECTION. INCLUDE BOX WITH WIDE MOUTH DRAIN FITTING. COORDINATE MOUNTING HEIGHT WITH ARCHITECT. EXPECTATION THAT BOX IS COMPLETELY ABOVE COUNTER FOR WATER AND DRAIN CONNECTION TO COUNTER MOUNTED DISHWASHER.
EP-1	EJECTION PUMP	-	-	1 1/2	1 1/2	DRAINAGE TANK WITH EJECTION PUMP	LIBERTY PUMPS: MODEL 406 COMPACT DRAIN PUMP. 1/6 HORSE POWER PUMP, 120 VAC 1.7 AMPS WITH 1.5" INLET AND OUTLET CONNECTIONS

Architecture and Interiors

MSRDesign

510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612 375 0336



181 E 5600 S, Murray, UT 84107 | (801) 530-3148
info@resolutgroup.com | resolutgroup.com

Project #: 250296

UCA MILLCREEK HEAD
START RENOVATION
336 E 3900 S
SALT LAKE CITY, UT 84107

Architect Seal



Signature

Date License No

PERMIT SET

ISSUE / REVISION

Mark	Date	Description
1	05/20/2025	ADDENDUM #1

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PLUMBING DETAILS & SCHEDULES

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