



Utah Community Action™

1307 South 900 West Salt Lake City, Utah 84104
(801) 977-1122 | utahca.org

**REQUEST FOR BID
UCA HJS Classroom Remodel 2025**

PART 1: INTRODUCTION AND INSTRUCTIONS

PURPOSE OF REQUEST FOR BID (RFB)

Utah Community Action (UCA) is seeking competitive bids to renovate space for 2 classrooms and add 1 EHS classrooms to an existing facility according to the scope of work in attachment A. The site is located at 336 E 3900 S, Millcreek, Utah 84107. The purpose of this document is to provide details on the required specifications and to establish the basis for a fixed price contract between UCA and the contractor.

AGENCY BACKGROUND

Utah Community Action's mission is to empower individuals, strengthen families and build communities through self-sufficiency and education programs. Utah Community Action is a multi-faceted agency that helps low-income individuals and families overcome barriers to self-sufficiency. The agency has approximately 600 employees, and annual revenues of approximately \$50M.

Utah Community Action helps remove these barriers through six core programs:

Adult Education – Helps adults with low- to moderate-income levels get access to courses and certifications that can help them work toward self-sufficiency.

Head Start – Provides education and health services to young children who would otherwise not be prepared for Kindergarten.

HEAT – Helps struggling households pay their utility bills. Both yearly application and emergency need services are available.

Case Management & Housing – Through deposit and emergency rental assistance, landlord-tenant mediation, homelessness services and holistic case management, our Case Management and Housing Program helps clients to obtain and maintain safe, stable and affordable housing.

Nutrition – Helps feed households in need, provides meals for Head Start classrooms, and offers educational programs to teach better eating habits.

Weatherization – Helps low-income households reduce energy costs and increase comfort and safety in their homes.

Utah Community Action complies with the required federal regulations on procurement, as set forth in the Uniform Guidance 2 CFR Part 200. Efforts, including affirmative steps prescribed by federal regulation (if applicable), will be made by UCA to utilize small and minority-owned businesses, women's business enterprises, and labor surplus area firms when possible. A firm qualifies as a small business firm if it meets the definition of "small business" as established by the Small Business Administration (13 CFR 121.201, Subsector 541512) by having average annual receipts for the last three fiscal years not exceeding \$27.5 million.

PROPOSAL SUBMISSIONS REQUIREMENTS

By submitting a proposal, Interested Parties acknowledge and agree that the scope of work, and evaluation process outlined herein are fair, equitable, and understood. Interested Parties further acknowledge that they have read this RFB, along with any attached or referenced documents.

To ensure a competitive and consistent review process each proposal submitted should include the following items and be organized with the outline provided below:

- a. Submit a letter outlining the general overview of the business information and individuals who will be involved in the RFB process. This letter should be a maximum of 1 page and clearly identify the qualifications of personnel that will be involved in the project and billing contact information. It should also include a date through which the bid is valid (recommended 90 days).
- b. Submit pricing based upon the RFB specifications outlined in the **-Attachment A scope of work and plans.**
- c. Complete the Bid Form – Attachment B. Proposal must be submitted as a fixed price contract with fixed price profit clearly indicated for all work listed in Attachment A. Additionally, pricing deductions must be provided for the three alternates listed at the bottom of the bid form:
 - a. Leaving existing flooring in Classroom 2 and 3
 - b. Leaving existing millwork in classroom 2 and 3
 - c. Front Entry desk and security gates – see sheet A141 for scope reduction
- d. Proof of liability and workers compensation insurance.
- e. Bonding as outlined below.

All costs incurred by Interested Parties in the preparation and submission of a proposal, including any costs incurred during interviews, presentations, or demonstrations are the responsibility of the Interested Parties and will not be reimbursed.

Mandatory Pre-Bid Meeting:

A mandatory pre-bid meeting will be held at the site located at 336 E 3900 S, Millcreek, Utah 84107 on May 16, 2025 at 3:00 pm. 

A submission of a bid by the Contractor is considered a representation that the Contractor has visited the site and has carefully examined the conditions that will be encountered when performing the work.

The purpose of the pre-bid meeting is to allow an open forum for discussion and questioning with UCA staff and the Architect regarding the RFB with all prospective proposers having an equal opportunity to hear and participate. Oral questions will receive oral responses, neither of which will be official, or become part of the RFB. Only written responses to written questions will be considered official and will be included as part of the RFB as an addendum.

WRITTEN QUESTIONS

Questions regarding the RFB must be received in writing by May 19, 2025 and should be submitted to:

Stacy Weight, Chief Administrative Officer
stacy.weight@utahca.org

SUPPLEMENTARY TECHNICAL SPECIFICATIONS

- A. The Contractor shall file and pay for all the required permits and inspections necessary to complete the project outside of the initial building permit, which shall be paid by Utah Community Action.
- B. This project's building permit is expected to be issued by the end of May 2025 and completion date/occupancy of classroom space must occur no later than August 1, 2025. The Contractor agrees to proceed with the work expeditiously without any delay or cessation, except such as may reasonably be beyond his control, and to employ a force of workmen sufficient so to perform the work covered by this Contract in such manner as to expedite the work of such other Contractors.
- C. The Contractor shall supply all materials, labor, tools and equipment, as specified in this Contractors Manual, required under this contract for a complete, neat and skilled installation.
- D. Contractor shall remove and dispose of all debris and materials resulting from work.
- E. Contractor shall be responsible for the repair of any adjoining work on which his work, in any way, is dependent for its proper installation.

- F. Contractor shall take all the necessary measures and precautions to protect surroundings and attachments (interior and exterior) and shall be liable for all damages that may be caused by his actions and work.
- G. The Contractor shall perform all other work as required to deliver a completed and satisfactory job using skilled craftsmen. All measurements and the Scope of Work must be verified on the job by the contractor.
- H. The contractor shall be responsible for securing the premises during the course of construction and shall not permit entry by any person or persons other than his employees, sub-contractors and/or suppliers and be responsible for same.
- I. The contractor shall follow all OSHA requirements, which state that under the OSH Act, employers are responsible for providing a safe and healthful workplace.
- J. Said work falls under the Davis-Bacon Act. The contractor shall supply Utah Community Action with certified payroll documentation. The Davis-Bacon and Related Acts apply to contractors and subcontractors performing construction, alteration, or repair with federally funded or assisted contracts in excess of \$2,000. Davis-Bacon Act and Related Act contractors and subcontractors must pay their laborers and mechanics employed under the contract no less than the locally prevailing wages and fringe benefits for corresponding work on similar projects in the area. The Davis-Bacon Act directs the Department of Labor to determine such locally prevailing wage rates. All bids should be based on the labor costs outlined in Davis Bacon Act WD #UT20250085 Modification 2 published March 14, 2025 and listed in Attachment C of this document.

SUBMISSION INSTRUCTIONS: All bids need to be submitted in sealed hard copy format. Bids must be submitted prior to the deadline at the following address:

Utah Community Action
Attn: Stacy Weight, CAO
1307 South 900 West
Salt Lake City, UT 84104

Proposals must be received by 4:00 pm on May 23, 2025. Proposals received after the deadline will not be accepted. Proposals can be submitted via hard copy or electronic copy to the address provided below.

Proposal Rejection: Utah Community Action reserves the right to reject a proposal if the proposal is conditional or incomplete, deemed non-responsive, or if it contains any alterations of form or other irregularities of any kind. UCA may reject any or all proposals or waive any immaterial deviation in a proposal. UCA's waiver of an immaterial deviation

shall in no way modify the RFB document or excuse the Vendor from full compliance with all other requirements if awarded the contract. A proposal is considered responsive if it follows the required format and meets all deadlines and other requirements outlined in this RFB.

PROPOSAL KEY DATES

RFB Released	May 2, 2025
Mandatory Pre-Bid Meeting	May 16, 2025 3:00 pm
Last Day for Receipt Written Questions	May 19, 2025
Proposals Due	May 23, 2025 by 4:00 pm
Bidders Interviews (if necessary)	May 27-28 2025
Selection	May 30, 2025

Utah Community Action may request interviews or meetings with any of the proposers to clarify any proposals.

PART 2: Contract Provisions

Equal Employment Opportunity - All construction contracts awarded in excess of \$10,000 shall contain a provision requiring compliance with E.O. 11246, "Equal Employment Opportunity," as amended by E.O. 11375, "Amending Executive Order 11246 Relating to Equal Employment Opportunity," and as supplemented by regulations at 41 CFR part 60, "Office of Federal Contract Compliance Programs, Equal Employment Opportunity, Department of Labor."

Copeland "Anti-Kickback" Act (18 U.S.C. 874 and 40 U.S. C. 276c) - All contracts and subgrants in excess of \$2000 for construction or repair shall include a provision for compliance with the Copeland "Anti-Kickback" Act (18 U.S.C. 874), as supplemented by Department of Labor regulations (29 CFR part 3, "Contractors and Subcontractors on Public Building or Public Work Financed in Whole or in Part by Loans or Grants from the United States"). The Act provides that each contractor or sub-recipient shall be prohibited from inducing, by any means, any person employed in the construction, completion, or repair of public work, to give up any part of the compensation to which he is otherwise entitled. All suspected or reported violations shall be reported to the Federal awarding agency.

Davis-Bacon Act, as amended (40 U.S.C. 276a to a-7) - When required by Federal grant program legislation, all construction contracts awarded by Recipients and sub-recipients of more than \$2000 shall include a provision for compliance with the Davis-Bacon Act (40 U.S.C. 276a to a-7) and as supplemented by Department of Labor regulations (29 CFR part 5, "Labor Standards Provisions Applicable to Contracts Governing Federally Financed and Assisted Construction"). Under this Act, contractors shall be required to pay wages to laborers and mechanics at a rate not less than the minimum wages specified in a wage determination made by the Secretary of Labor. In addition, contractors shall be required to pay wages not less than once a week. The Recipient shall place a copy of the current

prevailing wage determination issued by the Department of Labor in each solicitation and the award of a contract shall be conditioned upon the acceptance of the wage determination. All suspected or reported violations shall be reported to the Federal awarding agency.

Contract Work Hours and Safety Standards Act (40 U.S. C. 327-330) - Where applicable, all construction contracts awarded in excess of \$100,000. Contracts that involve the employment of mechanics or laborers shall include a provision for compliance with Sections 103 and 107 of the Contract Work Hours and Safety Standards Act (40 U.S.C. 327-330), as supplemented by Department of Labor regulations (29 CFR part 5). Under Section 102 of the Act, each contractor shall be required to compute the wages of every mechanic and laborer on the basis of a standard work week of 40 hours. Work in excess of the standard work week is permissible provided that the worker is compensated at a rate of not less than 1 1/2 times the basic rate of pay for all hours worked in excess of 40 hours in the work week. Section 107 of the Act is applicable to construction work and provides that no laborer or mechanic shall be required to work in surroundings or under working conditions which are unsanitary, hazardous or dangerous on federal and federally financed and assisted construction projects. These requirements do not apply to the purchases of supplies or materials or articles ordinarily available on the open market, or contracts for transportation or transmission of intelligence.

Patent Rights to Inventions Made Under a Contract or Agreement - Contract agreements for the performance of experimental, developmental, or research work shall provide for the patent rights of the Federal Government and the Recipient in any resulting invention in accordance with 37 CFR part 401, "Rights to Inventions Made by Nonprofit Organizations and Small Business Firms Under Government Grants, Contracts and Cooperative Agreements," and any implementing regulations issued by the awarding agency.

Clean Air Act {42 U.S.C. 7401 et seq.} and the Federal Water Pollution Control Act {33 U.S.C. 1251 et seq.}, as amended - Contracts and sub-grants of amounts in excess of \$100,000 shall contain a provision that requires compliance with all applicable standards, orders or regulations issued pursuant to the Clean Air Act (42 U.S.C. 7401 et seq.) and the Federal Water Pollution Control Act as amended (33 U.S.C. 1251 et seq.). Violations shall be reported to the Federal awarding agency and the Regional Office of the Environmental Protection Agency (EPA).

Termination: The owner may, at any time, terminate the Contract for owner's convenience and without cause.

Debarment and Suspension: Contractors submitting a proposal must certify that neither it nor its principals are presently or have ever been debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from participation in this contract, by any governmental entity.

Bonding Requirements:

UCA will require bonding to help ensure the interest of the organization and funding sources are protected. Minimum requirements will include the following:

- A bid guarantee in the form of a bid bond, certified check, or other negotiable instrument from each bidder equivalent to five percent of the bid price assuring that the bidder will, upon acceptance of the bid, execute such contractual documents as may be required within the time specified.
- A performance bond on the part of the contractor for 100 percent of the contract price, to be executed in connection with a contract to secure fulfillment of all the contractor's obligations under the contract.
- A payment bond for 100 percent of the contract price, executed in connection with a contract to assure payment as required by law of all persons supplying labor and material in execution of the work provided for in the contract.

Payment:

Vendor will bill UCA at the conclusion of each month's services and invoices will be paid net 30 upon receipt of invoice by Utah Community Action and completed Davis Bacon paperwork for that month.

Billing system must indicate location, date and type of service provided. All Davis Bacon paperwork must be submitted with each invoice. Davis Bacon paperwork will be reviewed for completeness prior to payment being issued.

Insurance Requirements:

Vendor must provide proof insurance for the following types and amounts:

Workers Compensation

Commercial General Liability - \$2,000,000 single limit per occurrence

Automobile Liability - \$500,000 Each Occurrence Owned/non-owned/hired automobile included.

Taxes:

Utah Community Action is a tax exempt 501c3 organization and cannot pay sales tax.

SELECTION PROCESS

Selection will be made by price to the proposer who is the most advantageous to Utah Community Action based on the selection criteria outlined above. UCA reserves the right to not select any proposer. Following the closure of the RFB all proposers will be notified of the selection.

Attachment A

Scope of Work
UCA HJS Classroom Addition 2025
336 E 3900 S, Millcreek, Utah 84107

Project Overview

The project consists of the renovation of 2 Early Head Start Classrooms and addition of one Early Head Start Classrooms to an existing facility per the attached bid set of drawings.

Attachment A

Attachment B

Bid Form

Project Estimate Project Name: Location:				
CSI#	Description	Unit QTY	Unit Cost	Total
02	Exsisting Conditions			
03	Concrete			
04	Masonry			
05	Metals			
06	Woods & Plastics			
07	Therman & Moisture Protection			
08	Doors & Windows			
09	Finishes			
10	Specialties			
12	Furnishings			
14	Conveying Systems			
21	Fire Suppression			
22	Plumbing			
23	HVAC			
26	Electrical			
27	Communication			
28	Electronic Safety and Security			
31	Earthwork			
32	Exterior Improvements			
33	Site Utilities			
Subtotal				
General Conditions				
Bonds and Insurance				
Overhead & Profit				
Design Contingency				
<hr/> Total				
Breakout Costs (Included Above)				
Flooring - Classroom 2 and 3				
Millwork - Classroom 2 and 3				
Front Desk and Security Doors				

conformance request.

Additional information on contractor requirements and worker protections under the Executive Orders is available at <http://www.dol.gov/whd/govcontracts>.

Modification Number	Publication Date
0	01/03/2025
1	02/07/2025
2	03/14/2025

CARP0801-002 12/01/2022

	Rates	Fringes
CARPENTER (Drywall Hanging and Metal Stud Installation Only).....	\$ 31.66	13.97

ELEC0354-001 06/11/2024

	Rates	Fringes
ELECTRICIAN (Low Voltage Wiring Only).....	\$ 29.83	1.5%+15.20
ELECTRICIAN.....	\$ 41.23	1.3%+17.12

* ELEV0038-003 01/01/2025

	Rates	Fringes
ELEVATOR MECHANIC.....	\$ 55.43	38.435+a+b

FOOTNOTE:

a: Vacation Pay: 8% with 5 or more years based on regular hourly rate for all hours worked, 6% under 5 years based on regular hourly rate for all hours worked. b: Paid holidays: New Year's Day; Memorial Day; Independence Day; Labor Day; Veteran's Day; Thanksgiving Day; Friday after Thanksgiving and Christmas Day

PAIN0077-003 07/01/2022

	Rates	Fringes
DRYWALL FINISHER/TAPER.....	\$ 31.00	8.44

PAIN0077-004 08/01/2024

	Rates	Fringes
PAINTER (Brush, Roller, and Spray, excluding Drywall/Finisher and Taper).....	\$ 24.70	8.88

PLUM0140-001 08/01/2024

	Rates	Fringes
PLUMBER/PIPEFITTER.....	\$ 43.55	14.78

SFUT0669-003 01/01/2025		

	Rates	Fringes
SPRINKLER FITTER (Fire Sprinklers).....	\$ 39.43	26.63

SHEE0312-002 07/01/2024		

	Rates	Fringes
SHEET METAL WORKER (Including HVAC Duct Installation).....	\$ 44.74	13.64

* SUUT2012-017 07/29/2014		

	Rates	Fringes
CARPENTER (Acoustical Ceiling Installation Only).....	\$ 21.25	2.15
CARPENTER (Form Work Only).....	\$ 16.93 **	1.93
CARPENTER, Excludes Acoustical Ceiling Installation, Drywall Hanging, Form Work, and Metal Stud Installation.....	\$ 20.66	7.47
CEMENT MASON/CONCRETE FINISHER...	\$ 15.00 **	0.00
IRONWORKER, STRUCTURAL.....	\$ 20.21	3.22
LABORER: Common or General.....	\$ 13.84 **	0.00
LABORER: Mason Tender - Brick...	\$ 16.38 **	1.00
LABORER: Mason Tender - Cement/Concrete.....	\$ 14.94 **	0.00
LABORER: Pipelayer.....	\$ 13.57 **	0.00
LABORER: Landscape and Irrigation.....	\$ 9.50 **	0.00
OPERATOR: Backhoe/Excavator/Trackhoe.....	\$ 14.48 **	0.00
OPERATOR: Loader.....	\$ 19.34	0.00
PLASTERER.....	\$ 18.36	0.00
ROOFER.....	\$ 13.22 **	0.00

TILE FINISHER.....	\$ 13.54 **	0.00
TILE SETTER.....	\$ 23.50	0.00
TRUCK DRIVER: Dump Truck.....	\$ 15.50 **	0.00

WELDERS - Receive rate prescribed for craft performing operation to which welding is incidental.

** Workers in this classification may be entitled to a higher minimum wage under Executive Order 14026 (\$17.75) or 13658 (\$13.30). Please see the Note at the top of the wage determination for more information. Please also note that the minimum wage requirements of Executive Order 14026 are not currently being enforced as to any contract or subcontract to which the states of Texas, Louisiana, or Mississippi, including their agencies, are a party.

Note: Executive Order (EO) 13706, Establishing Paid Sick Leave for Federal Contractors applies to all contracts subject to the Davis-Bacon Act for which the contract is awarded (and any solicitation was issued) on or after January 1, 2017. If this contract is covered by the EO, the contractor must provide employees with 1 hour of paid sick leave for every 30 hours they work, up to 56 hours of paid sick leave each year. Employees must be permitted to use paid sick leave for their own illness, injury or other health-related needs, including preventive care; to assist a family member (or person who is like family to the employee) who is ill, injured, or has other health-related needs, including preventive care; or for reasons resulting from, or to assist a family member (or person who is like family to the employee) who is a victim of, domestic violence, sexual assault, or stalking. Additional information on contractor requirements and worker protections under the EO is available at <https://www.dol.gov/agencies/whd/government-contracts>.

Unlisted classifications needed for work not included within the scope of the classifications listed may be added after award only as provided in the labor standards contract clauses (29CFR 5.5 (a) (1) (iii)).

The body of each wage determination lists the classifications and wage rates that have been found to be prevailing for the type(s) of construction and geographic area covered by the wage determination. The classifications are listed in alphabetical order under rate identifiers indicating whether the particular rate is a union rate (current union negotiated rate), a survey rate, a weighted union average rate, a state adopted rate, or a supplemental classification rate.

Union Rate Identifiers

A four-letter identifier beginning with characters other than ""SU"", ""UAVG"", ?SA?, or ?SC? denotes that a union rate was prevailing for that classification in the survey. Example: PLUM0198-005 07/01/2024. PLUM is an identifier of the union whose collectively bargained rate prevailed in the survey for this classification, which in this example would be Plumbers. 0198 indicates the local union number or district council number where applicable, i.e., Plumbers Local 0198. The next number, 005 in the example, is an internal number used in processing the wage determination. The date, 07/01/2024 in the example, is the effective date of the most current negotiated rate.

Union prevailing wage rates are updated to reflect all changes over time that are reported to WHD in the rates in the collective bargaining agreement (CBA) governing the classification.

Union Average Rate Identifiers

The UAVG identifier indicates that no single rate prevailed for those classifications, but that 100% of the data reported for the classifications reflected union rates. EXAMPLE: UAVG-OH-0010 01/01/2024. UAVG indicates that the rate is a weighted union average rate. OH indicates the State of Ohio. The next number, 0010 in the example, is an internal number used in producing the wage determination. The date, 01/01/2024 in the example, indicates the date the wage determination was updated to reflect the most current union average rate.

A UAVG rate will be updated once a year, usually in January, to reflect a weighted average of the current rates in the collective bargaining agreements on which the rate is based.

Survey Rate Identifiers

The ""SU"" identifier indicates that either a single non-union rate prevailed (as defined in 29 CFR 1.2) for this classification in the survey or that the rate was derived by computing a weighted average rate based on all the rates reported in the survey for that classification. As a weighted average rate includes all rates reported in the survey, it may include both union and non-union rates. Example: SUFL2022-007 6/27/2024. SU indicates the rate is a single non-union prevailing rate or a weighted average of survey data for that classification. FL indicates the State of Florida. 2022 is the year of the survey on which these classifications and rates are based. The next number, 007 in the example, is an internal number used in producing the wage determination. The date, 6/27/2024 in the example, indicates the survey completion date for the classifications and rates under that identifier.

?SU? wage rates typically remain in effect until a new survey is conducted. However, the Wage and Hour Division (WHD) has the discretion to update such rates under 29 CFR 1.6(c)(1).

State Adopted Rate Identifiers

The "SA" identifier indicates that the classifications and prevailing wage rates set by a state (or local) government were adopted under 29 C.F.R 1.3(g)-(h). Example: SAME2023-007 01/03/2024. SA reflects that the rates are state adopted. ME refers to the State of Maine. 2023 is the year during which the state completed the survey on which the listed classifications and rates are based. The next number, 007 in the example, is an internal number used in producing the wage determination. The date, 01/03/2024 in the example, reflects the date on which the classifications and rates under the SA identifier took effect under state law in the state from which the rates were adopted.

WAGE DETERMINATION APPEALS PROCESS

1) Has there been an initial decision in the matter? This can be:

- a) a survey underlying a wage determination
- b) an existing published wage determination
- c) an initial WHD letter setting forth a position on a wage determination matter
- d) an initial conformance (additional classification and rate) determination

On survey related matters, initial contact, including requests for summaries of surveys, should be directed to the WHD Branch of Wage Surveys. Requests can be submitted via email to davisbaconinfo@dol.gov or by mail to:

Branch of Wage Surveys
Wage and Hour Division
U.S. Department of Labor
200 Constitution Avenue, N.W.
Washington, DC 20210

Regarding any other wage determination matter such as conformance decisions, requests for initial decisions should be directed to the WHD Branch of Construction Wage Determinations. Requests can be submitted via email to BCWD-Office@dol.gov or by mail to:

Branch of Construction Wage Determinations
Wage and Hour Division
U.S. Department of Labor
200 Constitution Avenue, N.W.
Washington, DC 20210

2) If an initial decision has been issued, then any interested party (those affected by the action) that disagrees with the decision can request review and reconsideration from the Wage and Hour Administrator (See 29 CFR Part 1.8 and 29 CFR Part 7). Requests for review and reconsideration can be submitted via email to dba.reconsideration@dol.gov or by mail to:

Wage and Hour Administrator
U.S. Department of Labor
200 Constitution Avenue, N.W.
Washington, DC 20210

The request should be accompanied by a full statement of the interested party's position and any information (wage payment data, project description, area practice material, etc.) that the requestor considers relevant to the issue.

3) If the decision of the Administrator is not favorable, an interested party may appeal directly to the Administrative Review Board (formerly the Wage Appeals Board). Write to:

Administrative Review Board
U.S. Department of Labor
200 Constitution Avenue, N.W.
Washington, DC 20210.

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END OF GENERAL DECISION"

UCA MILLCREEK HEAD START RENOVATION

336 E 3900 S
SALT LAKE CITY, UT 84107

ABBREVIATIONS

A A.F.F. Above Finish Floor A.F.L. Above Floor Level ABV Above AC Acoustic (al) ACT Acoustical (Ceiling) Tile ADD Addendum (Addenda) ADJ Adjacent ADJCT Administration ADMIN Administration AL Aluminum ALT Alternate ANC Anchor APC Precast Concrete - Architectural APPROX Approximately ARCH Architectural AUTO Automatic AV Audio Visual AVG Average AXFL Access Floor AXPNL Access Panel	C (continued) CL Centerline CLNG Ceiling CLO Closet CLR Clear (ance) CM Construction Manager CMU Concrete Masonry Unit CO Clean Out COL Column COM Communication CONC Concrete COND Condition CONF Conference CONN Connection CONST Construction CORR Corridor (ous) (ation) CSK Countersunk CTR Center CUH Cabinet Unit Heater CW Curtain Wall	E (continued) ELEV Elevator / Elevation (drawing view) EMER Emergency ENT Entrance EO Electrical Outlet EQ Equal EQUIP Equipment EXIST Existing EXP Exposed EXT Exterior F.F.E. Finish Floor Elevation F.O. Face of FA Fire Alarm FD Floor Drain FE Fire Extinguisher FEC Fire Extinguisher Cabinets FFE Furnishings, Fixture and Equipment FH Fire Hose Cabinets FIN Finish FIXT Fixture FL Floor (ing) FLASH Flashing FLEX Flexible FND Foundation FP Fire Proofing FPL Fireplace FRP Fiberglass Reinforced Plastic FRT Fire Retardant Treated FT Foot or Feet FTG Folding FTR Fin Tube Radiation / Radiator FUR Furring G Gauge GALV Galvanized GBD Gypsum Board GC General Contractor GEN General / Generator GL Glass / Glazing GLULAM Glue-Laminated	H (continued) HM Hollow Metal HORZ Horizontal HTR Heater HVAC Heating / Ventilation / Air Conditioning HYD Hydrant I Inside Diameter IN Inch INCL Include (ing) INFO Information INSUL Insulation - rigid, batt, acoustic, etc INT Interior J Janitor JAN Junction Box JST Joist JT Joint K Kitchen KIT Kitchen KO Knockout L Long (Dimension) LAB Laboratory LAM Laminite, Lamination LAV Lavatory LB Pound LDR Ladders LF Linear Foot LH Left Hand LHR Left Hand Reverse LIN Linear LINO Linoleum LL Live Load LOC Location LONG Longitudinal LTG Lighting LVR Louver M Masonry Opening M.O. Masonry MAS Masonry MAT Walk Off Mat MATERIAL Material MAX Maximum MDF Medium Density Fiberboard	M (continued) MDO Medium Density Overlay MECH Mechanical MEMB Membrane MEZZ Mezzanine MFR Manufacturer MIN Minimum MIR Mirror MISC Miscellaneous MTD Mounted MTL Metal MUL Mullion MW Millwork N North NA Not Applicable NIC Not In Contract NO Number NOM Nominal NRC Noise Reduction Coefficient NSMF Non-Structural Metal Framing NTS Not To Scale O Overall O.C. On Center O.D. Outside Diameter O.F.I. Owner Furnished - Contractor Installed O.F.I. Owner Furnished - Owner Installed OH Overhead OPNG Opening OPP Opposite OPT Option(al) OPTN Operable Partition ORD Overflow Roof Drain P Public Address System PAR Parallel PC Precast Concrete PERIM Perimeter PERP Perpendicular PL Plate PL Property Line PLAM Plastic Laminite PLAS Plaster - Gypsum PLBG Plumbing PLF Pound per Linear Foot PLY Plywood	P (continued) PNL Panel PR Pair PREFAB Prefabricated PRELIM Preliminary PRKG Parking PSF Pound per Square Foot PSI Pound per Square Inch PT Paint PTN Partition PVC Polyvinyl Chloride Q Quarter QTY Quantity R Radius or Riser R.O. Rough Opening RCP Reflected Ceiling Plan RD Roof Drain RECT Rectangular REF Refrigerator REG Register/Registration REINF Reinforce (ment) (ing) REQ Required REV Revision RH Right Hand RHR Right Hand Reverse RL Railing RM Room RND Round ROW Right of Way S South SCHED Schedule SD Storm Drain SECT Section SF Storefront / Square Foot SGL Single SHT Sheet SHTG Sheathing SHWR Shower SIM Similar SLNT Sealant SM Surface Mount SMTL Sheet Metal SOG Slab on Grade SP Space (ing)	S (continued) SPEC Specifications SS Stainless Steel STC Sound Transmission Coefficient STD Standard STL Steel STN Stone STOR Storage STRUCT Structural SUBFL Subfloor(ing) SUSP Suspended SYM Symmetry, Symmetrical SYS System T Tread T&G Tongue & Grooved T.O. Top of TAN Tangent TBD To Be Determined TBF Thermally Broken Furring TBM Thermal Break Material TD Trench Drain TEMP Temporary THK Think (ness) THR Threshold TPL Triple TRTD Treated TYP Typical TZ Terrazzo U Undercut UG Underground UNFIN Unfinished UNO Unless Noted Otherwise UPH Upholstery UR Urinal UTIL Utility V Verify in Field V.I.F. Varies VBR Vapor Barrier, Vapor Retarder VCT Vinyl Composition Tile VERT Vertical VEST Vestibule VNR Veneer	W W West W Wide/Width (Dimension) W With W/O Without WC Water Closet / Toilet WD Wood WDCP Wood Composite Panel WDF Framing - Interior Rough Carpentry WDW Prefabricated Windows WGD Wall and Door Protection WH Water Heater WP Waterproofing WT Window Treatment X Expansion Joints XJ Expansion Joints
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ASSEMBLY TYPE TAGS (SEE G SERIES SHEET)

ROOF1 ROOF ASSEMBLY	TRAN1 TRANSITION ASSEMBLY
CLNG1 CEILING ASSEMBLY 12'-0" CEILING HEIGHT ABOVE FLOOR LEVEL UND	BASE1 BASE ASSEMBLY
FLOR1 FLOOR ASSEMBLY	PA1 PARTITION ASSEMBLY
1 EXTERIOR WALL ASSEMBLY ACOUSTICAL RATED FIRE RATING	A3 PARTITION ASSEMBLY ACOUSTICAL RATED FIRE RATING

DRAFTING SYMBOLS

	MULTI-ELEVATION REFERENCE		REVISION ISSUANCE (AAA-###) WHEN NOTED (if needed)		ROOM NAME ROOM NUMBER
	ELEVATION REFERENCE		KEYNOTE		DOOR NUMBER OR TYPE DOOR SIZE WHEN NOTED
	SECTION REFERENCE		GRID LINE		GLAZED OPENING TYPE
	DETAIL REFERENCE		EXISTING GRID LINE		MATERIAL / PRODUCT ID COLOR, FINISH, PRODUCT STYLE, TYPE, PATTERN, SHEEN
	LEVEL MARKER		NORTH SYMBOL		DRAWING NUMBER
	VIEW NAME		SCALE		DRAWING TITLE
					SHEET NUMBER

SHT NO	SHEET NAME
GENERAL	
G00	COVER SHEET
G001	MATERIAL ID LIST, TYPES AND SYSTEMS
G051	BUILDING CODE SUMMARY
ARCHITECTURAL	
A101	LEVEL 1 DEMOLITION FLOOR AND REFLECTED CEILING PLAN
A121	LEVEL 1 FLOOR AND REFLECTED CEILING PLAN
A131	LEVEL 1 FINISH & FURNITURE, AND MILLWORK PLAN
A501	INTERIOR ELEVATIONS AND DETAILS
A601	DOOR SCHEDULE, TYPES AND DETAILS
A810	MILLWORK PLANS AND ELEVATIONS
A811	MILLWORK PLANS, ELEVATIONS, AND MILLWORK SECTIONS

Architecture and Interiors

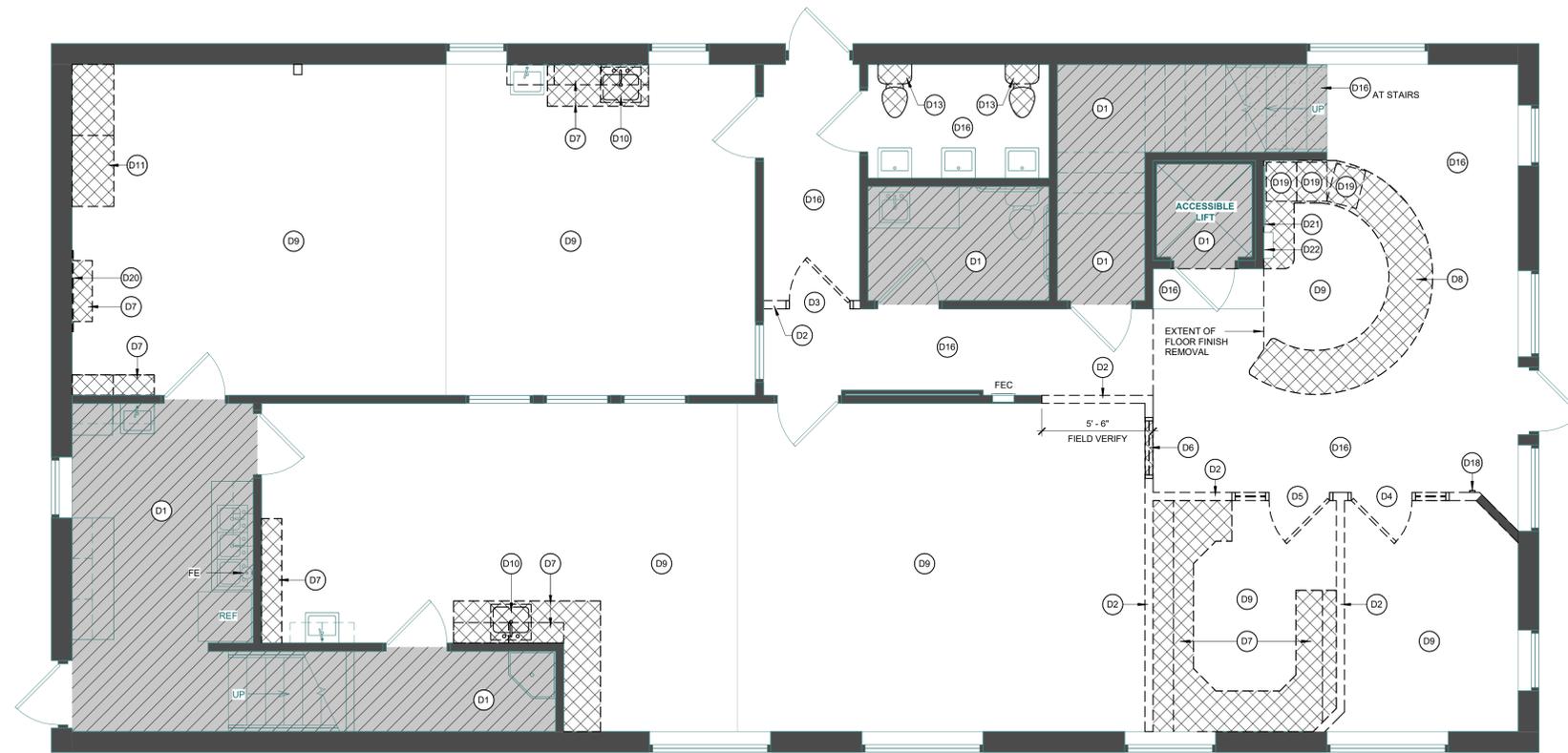
Structural Engineers

MSRDesign

MJ Structural Engineers

510 Marquette Avenue South, Suite 200
Minneapolis, MN 55402 | 612 375 0336

5673 S Redwood Rd.
Salt Lake City, UT 84123 | 801-905-1097



1 LEVEL 1 DEMOLITION FLOOR PLAN

A101 1/4" = 1'-0"

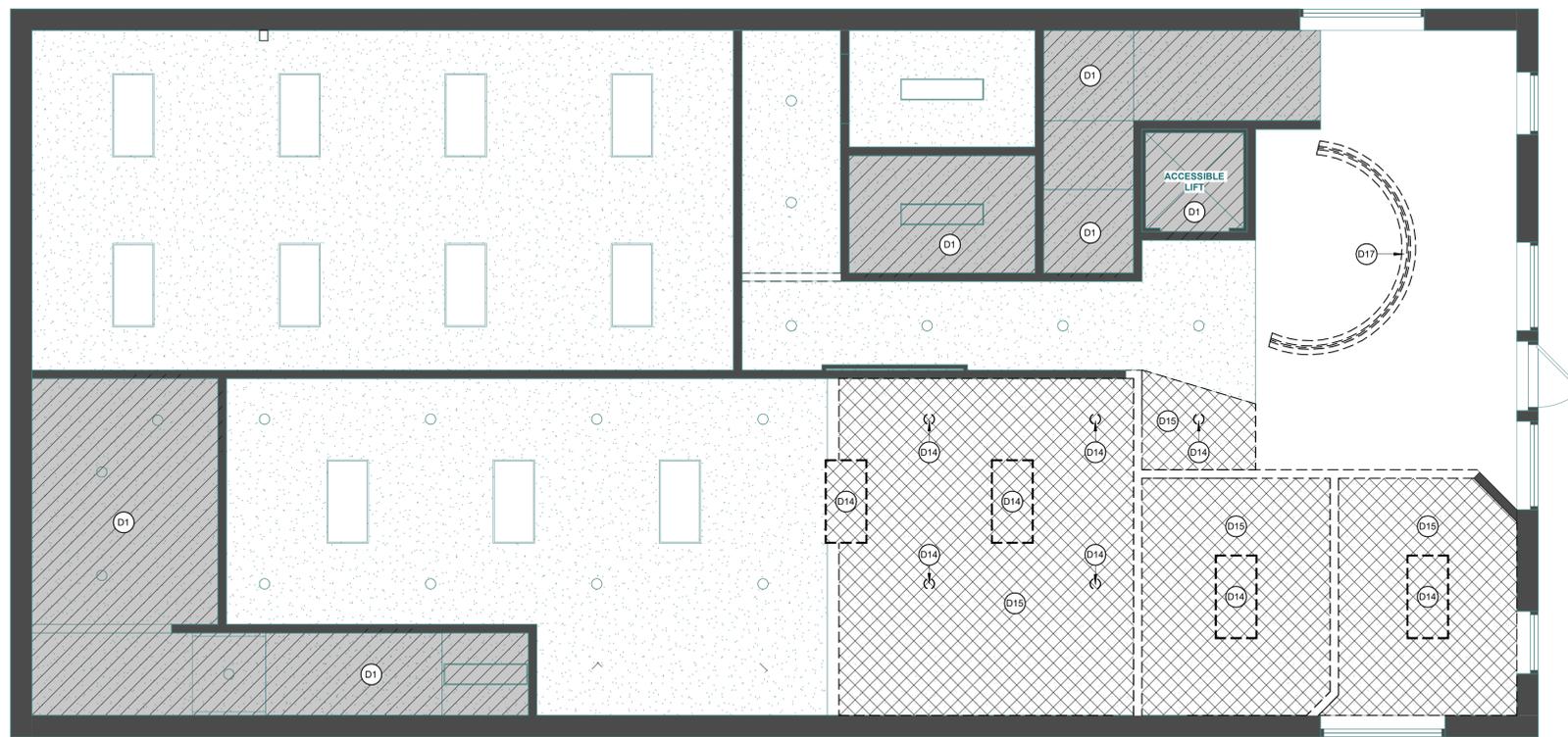
DEMOLITION GENERAL NOTES

NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN ON PLANS.
 PROVIDE DUSTPROOF PARTITIONS AS REQUIRED TO ACCOMPLISH WORK WITH MINIMUM DISTURBANCE TO FUNCTIONS OF ADJACENT AREAS.
 THE CONTRACTOR SHALL PROTECT THE EXISTING CONDITION DURING CONSTRUCTION. ANY EXISTING CONDITION DAMAGED AS A RESULT OF THE WORK SHALL BE REPAIRED TO AN EXTENT AND AS REQUIRED TO MATCH ADJACENT.
 MAINTAIN ALL EXISTING SERIES IN ADJACENT AREAS OF THE BUILDING DURING THE PROJECT. MAINTAIN ALL EGRESS AND FIRE PROTECTION REQUIREMENTS.
 GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK, PHASING, AND SEQUENCING WITH THE OWNER.
 COORDINATE DEMOLITION SCOPE WITH STRUCTURAL.
 MOUNTING DEVICES, MISCELLANEOUS AND UNUSED ACCESSORIES, WIRES AND FASTENERS TO BE REMOVED BY DEMOLITION CONTRACTOR. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO VERIFY EXTENT OF REQUIRED DEMOLITION & PREPARATION WORK.
 ALL DIMENSIONS SHOWN REPRESENT INTENT. ACTUAL DIMENSIONS NEED TO BE VERIFIED IN FIELD.
 COORDINATE WITH OWNER/LANDLORD ALL ITEMS TO BE SALVAGED PRIOR TO THE BEGINNING OF DEMOLITION.
 ALL ITEMS NOTED TO BE SALVAGED AND REMOVED ARE TO BE PROTECTED FROM DAMAGE DURING REMOVAL AND STORED IN A PROTECTED LOCATION FOR REUSE.
 WHERE DEMOLITION HAS OCCURRED, AND NEW CONSTRUCTION IS NOT REQUIRED, PATCH AND REPAIR REMAINING SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES.
 WHERE PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE PARTITION WITH ALL ITEMS CONTAINED WITHIN, INCLUDING BUT NOT LIMITED TO: DOORS, FRAMES, HARDWARE, SIDELITES, WINDOWS, MECHANICAL AND ELECTRICAL EQUIPMENT, RECEPTACLES, LOW VOLTAGE WIRING AND DEVICES, ETC. REMOVE TO STRUCTURE ABOVE OR TO NEAREST JUNCTION BOX.
 CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO PATCH AND REPAIR ALL FINISHES TO LIKE NEW CONDITION, TO MATCH EXISTING ADJACENT, WHERE IMPACTED BY NEW WORK INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATIONS AND MODIFICATIONS.
 CONTRACTOR RESPONSIBLE TO COORDINATE ALL DEMOLITION WORK REQUIRED FOR NEW WORK.
 OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF ALL SALVAGED ITEMS, INCLUDING BUT NOT LIMITED TO: LIGHT FIXTURES, PLUMBING FIXTURES, HARDWARE, ETC. SALVAGED ITEMS SCHEDULE FOR REUSE SHALL BE CLEANED, RESTORED AND/OR REFINISHED TO LIKE NEW CONDITION, UNLESS NOTED OTHERWISE.
 WHERE FLOORING IS TO BE REMOVED, REMOVE ALL MATERIAL TO EXPOSE SUBSTRATE BELOW. REMOVE ALL RELATED CONSTRUCTION ADHESIVES OR FASTENERS AND PREPARE FLOOR FOR NEW FINISH.
 ALL LOOSE DEBRIS, STICKERS, LETTERS AT COLUMNS, EXTRANEIOUS HANGERS, MOUNTING DEVICES, MISCELLANEOUS AND UNUSED ACCESSORIES, WIRES, AND FASTENERS ARE TO BE REMOVED BY THE DEMOLITION CONTRACTOR.
 SEE MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION AND NEW CONSTRUCTION PLANS FOR MORE INFORMATION.

DEMOLITION KEYNOTES

- (D1) NO WORK IN THIS AREA.
- (D2) REMOVE EXISTING WALL AND ASSOCIATED COMPONENTS, PATCH NEWLY EXPOSED SURFACES AS NEEDED FOR NEW FINISHES.
- (D3) REMOVE AND SALVAGE EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- (D4) REMOVE AND SALVAGE EXISTING DOOR & SIDELITE, FRAME, AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- (D5) REMOVE AND SALVAGE EXISTING DOOR & SIDELITE, FRAME, AND ASSOCIATED HARDWARE FOR RE-USE WITHIN PROJECT.
- (D6) REMOVE EXISTING WINDOW AND FRAME.
- (D7) REMOVE EXISTING CASEWORK / MILLWORK, AND COUNTERTOP. REMOVE ALL ASSOCIATED EQUIPMENT, BASE, AND UPPER CABINETS. PREPARE WALL, CEILING, AND FLOOR TO RECEIVE NEW FINISHES.
- (D8) REMOVE EXISTING RECEPTION DESK, MILLWORK, COUNTERTOP, AND ALL ASSOCIATED HARDWARE. PREPARE FLOOR AND ADJACENT WALLS TO RECEIVE NEW FINISHES.
- (D9) REMOVE EXISTING FLOORING AS INDICATED. PREPARE FLOOR FOR NEW FINISH.
- (D10) REMOVE AND SALVAGE EXISTING SINK FOR RE-USE WITHIN PROJECT.
- (D11) REMOVE EXISTING TACKBOARD AND ASSOCIATED HARDWARE. PATCH/REPAIR WALLS TO RECEIVE NEW FINISHES.
- (D12) REMOVE EXISTING TALL STORAGE CASEWORK/MILLWORK AND ASSOCIATED HARDWARE. PATCH/REPAIR FLOOR AND WALLS TO RECEIVE NEW FINISHES.
- (D13) REMOVE EXISTING TOILET AND ASSOCIATED HARDWARE.
- (D14) REMOVE EXISTING LIGHT FIXTURE. COORDINATE EXTENTS AND SCOPE WITH ELECTRICAL.
- (D15) REMOVE EXISTING GYPSUM CEILING SYSTEM, GRILLES, AND ACCESS PANELS WHERE OCCUR. RETAIN & PROTECT EXISTING FIRE SPRINKLER SYSTEM AND HEADS.
- (D16) EXISTING FLOORING AND BASE TO REMAIN.
- (D17) REMOVE EXISTING PENDANT LIGHT FIXTURES AND CABLES FROM SECOND LEVEL CEILING ABOVE. COORDINATE EXTENTS AND SCOPE WITH ELECTRICAL.
- (D18) REMOVE AND SALVAGE EXISTING FIRE ALARM PULL AND HORN STROBE FOR RE-USE WITHIN PROJECT.
- (D19) REMOVE AND SALVAGE EXISTING BASE CABINETS FOR RE-USE WITHIN PROJECT. RE-FINISH CABINET MATERIAL TO MATCH NEW CONSTRUCTION.
- (D20) REMOVE AND SALVAGE EXISTING BULLETIN BOARD AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- (D21) EXISTING BULLETIN BOARD TO REMAIN.
- (D22) EXISTING FIRST AID KIT TO REMAIN.

DEMOLITION SYMBOLS LEGEND



2 LEVEL 1 DEMOLITION REFLECTED CEILING PLAN

A101 1/4" = 1'-0"

**UCA MILLCREEK HEAD
 START RENOVATION**
 336 E 3900 S
 SALT LAKE CITY, UT 84107

Project No: 2025009

Architect Seal

Signature _____

Date _____ License No _____

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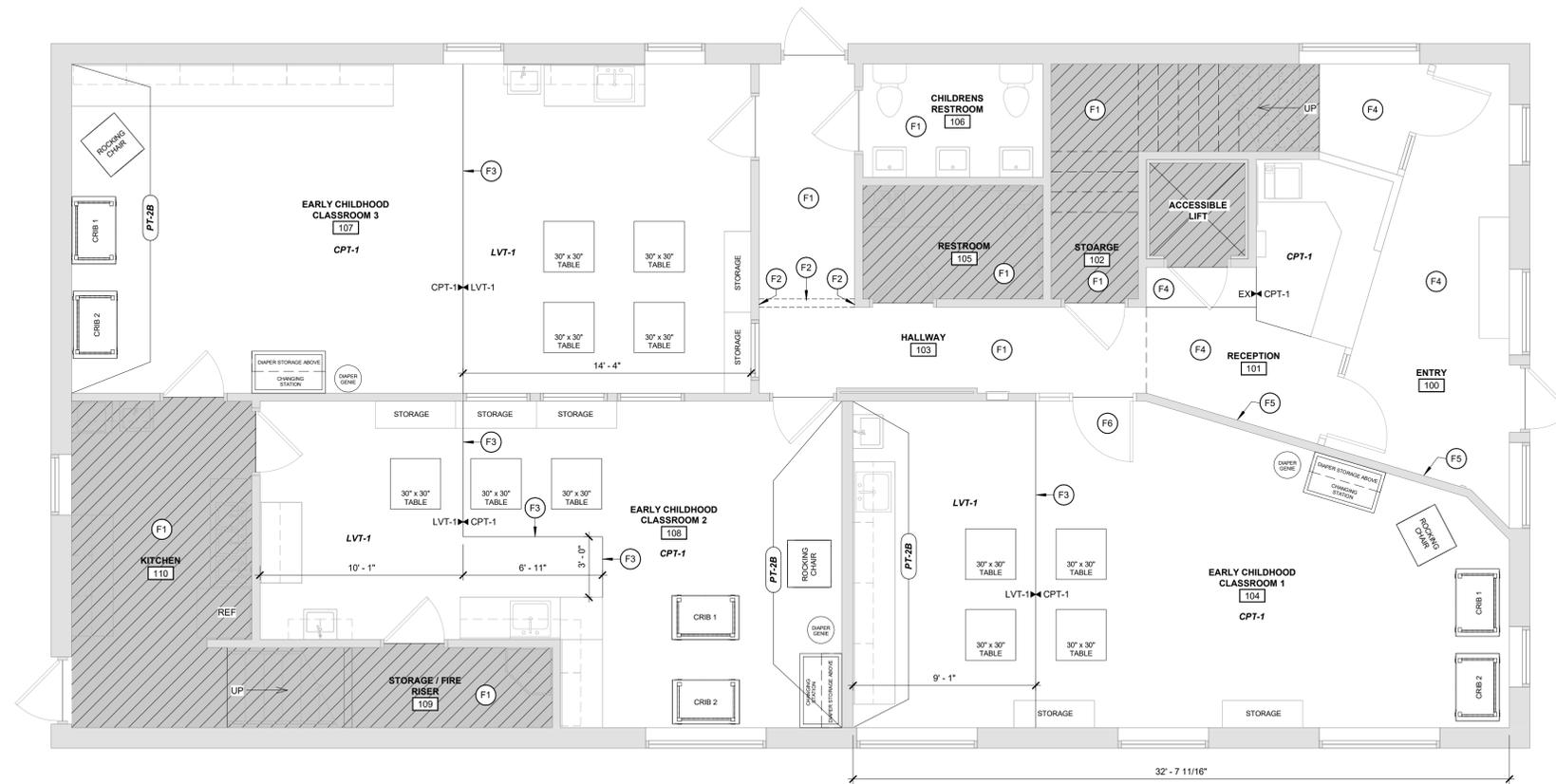
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**LEVEL 1 DEMOLITION
 FLOOR AND
 REFLECTED CEILING
 PLAN**

A101



1 LEVEL 1 FINISH & FURNITURE PLAN

A131 1/4" = 1'-0"

FURNITURE SHOWN FOR REFERENCE ONLY

FINISH PLAN KEY

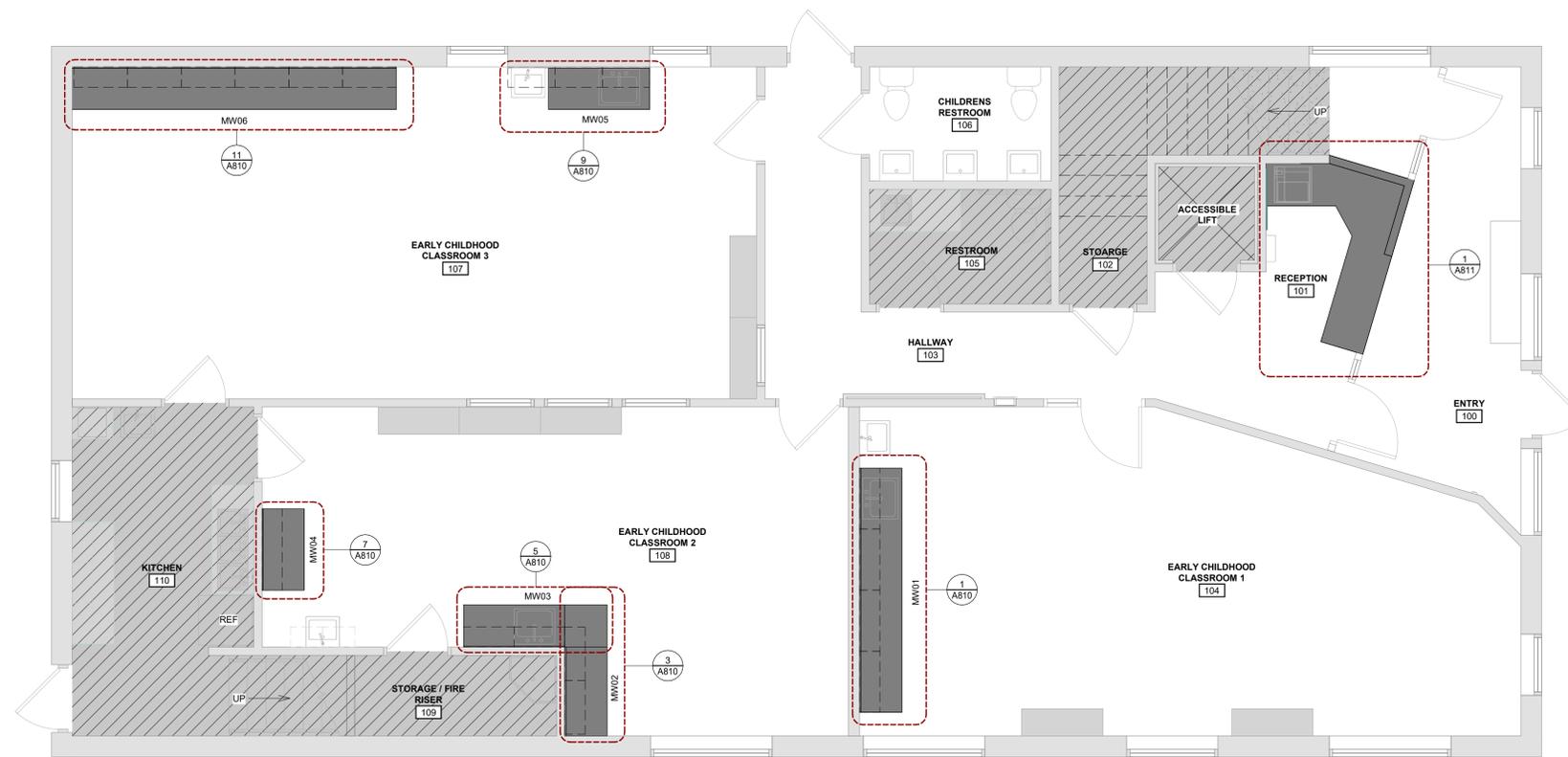
FLOOR FINISH		WALL FINISH	
CPT-1A	PT-1A	PT-1A	PT-1A
STYLE COLOR	STYLE COLOR	STYLE COLOR	STYLE COLOR

FINISH GENERAL NOTES

- SEE PROJECT MANUAL SPECIFICATION FOR KEY TO FINISH CODES.
- COORDINATE EXTENT OF FLOOR AND WALL FINISHES WITH MILLWORK DRAWINGS.
- ALL GWB CEILINGS TO BE PAINTED PT-1A U.N.O.
- ALL HOLLOW METAL DOORS AND DOOR FRAMES, HANDRAILS AND METAL GRILLES TO BE PAINTED PT-6J WITH CLEAR COAT FINISH U.N.O.
- FOR RB-1 BASE, USE STRAIGHT BASE AT CARPETED AREAS AND COVERED BASE AT HARD FLOORING SURFACES.
- INSTALLER RESPONSIBLE FOR FIELD VERIFYING ALL QUANTITIES, DIMENSIONS AND CONDITIONS FOR WINDOW TREATMENTS. ALL SHADES SHALL BE FULL WIDTH WITH NO SEAMS OR BATTENS. INSTALLER RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS FOR APPROVAL.
- SSF-1 SOLID SURFACE TRANSITIONS TO BE USED AT ALL DOOR THRESHOLDS, TYP. APPLY LEVELING COMPOUND TO CREATE SMOOTH FLOOR TRANSITIONS BETWEEN ADJOINING MATERIALS AT 1/8" PER 1'-0" SLOPE, TYP. USE METAL REDUCER STRIP AT TRANSITIONS TO CONCRETE, TYP.

FINISH KEYNOTES

- F1 NO WORK IN THIS AREA.
- F2 PATCH AND REPAIR FLOOR AND WALLS WHERE PARTITION WALL WAS REMOVED. FINISH TO MATCH EXISTING.
- F3 PROVIDE AND INSTALL VINYL TRANSITION STRIP.
- F4 EXISTING FLOOR FINISHES TO REMAIN.
- F5 PROVIDE AND INSTALL WOOD BASE TO MATCH EXISTING.
- F6 PAINT DOOR FRAME TO MATCH EXISTING.
- F7 PROVIDE AND INSTALL RESILIENT WALL BASE. MATCH EXISTING.



2 LEVEL 1 MILLWORK PLAN

A131 1/4" = 1'-0"

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LEVEL 1 FINISH & FURNITURE, AND MILLWORK PLAN

A131

DOOR HARDWARE GROUPS

HARDWARE GROUP 001 (BY ALUMINUM SUBCONTRACTOR)
(INTERIOR VESTIBULE ALUMINUM ENTRANCE)

FOR USE ON DOOR (S): 101A, 101B

PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

QTY	DESCRIPTION	CATALOG NUMBER	FINISH	MFR
1 EA	CONT. HINGE	112XY	315AN	IVE
1 EA	STOREROOM LOCK	WS81P6 LAT	622	FAL
1 EA	ELECTRIC STRIKE	CS450 12/24 VDC	630	LOC
1 EA	OH STOP	100S	BLK	GLY
1 EA	SURFACE CLOSER	SC81A REG OR PA AS REQ FC	622	FAL
1 EA	MOUNTING PLATE	SC80A-18PA	622	FAL
1 EA	CUSH SHOE SUPPORT	SC80A-30	622	FAL
1 EA	BLADE STOP SPACER	SC80A-61	622	FAL
1 EA	WIRE HARNESS	CON-XX AS REQUIRED		SCH
1 EA	CARD READER	BY SECURITY CONTRACTOR	BLK	SCE
1 EA	DOOR CONTACT	7764 / 679-05 AS REQUIRED	628	SCE
1 EA	POWER SUPPLY	BY SECURITY CONTRACTOR	LGR	SCE
1	SEALS	BY DOOR / FRAME MANUFACTURER		

DOOR IS NORMALLY LOCKED. RESTRICTING ENTRY. AUTHORIZED CREDENTIAL AT OUTSIDE CARD READER. MOMENTARILY RELEASES ELECTRIC STRIKE TO ALLOW ENTRY OR BY KEY. INSIDE LEVER ALWAYS ALLOWS EGRESS.

HARDWARE GROUP 002
(CLASSROOM LOCK FUNCTION)

FOR USE ON DOOR: 104

PROVIDE EACH SGL DOOR(S) WITH THE FOLLOWING:

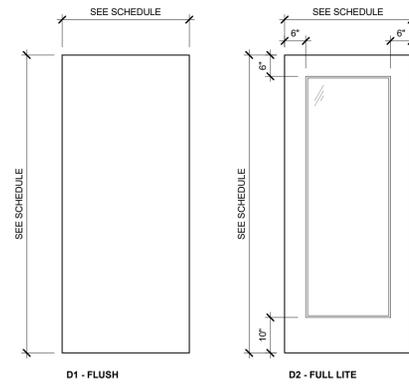
QTY	DESCRIPTION
3 EA	HINGE
1 EA	CLASSROOM LOCKSET
1 EA	PERMANENT CORE
1 EA	WALL STOP
3 EA	SILENCER

REMARKS: MATCH EXISTING TYPE AND MATERIAL.

DEADLOCKING LATCH BOLT BY KNOBS/LEVERS. OUTSIDE KNOB/LEVEL LOCKED BY KEY OUTSIDE. INSIDE KNOB/LEVER ALWAYS FREE.

DOOR SCHEDULE

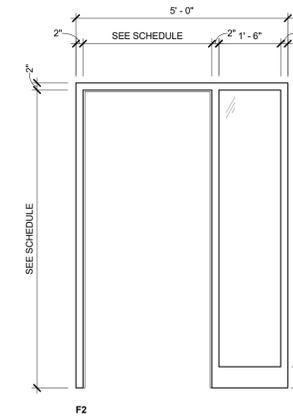
DOOR NO	DOOR			TYPE	MAT'L	FRAME				FIRE	HDWR	COMMENTS	
	WIDTH	HEIGHT	THICKNESS			HEAD	SILL	JAMB	TYPE				MAT'L
101A	3'-0"	7'-0"	1 3/4"	D2	HM/GL	--	--	--	F2	HM	--	001	
101B	3'-0"	7'-0"	1 3/4"	D2	HM/GL	--	--	--	F2	HM	--	001	
104	3'-0"	7'-0"	1 3/4"	D1	WD	--	--	--	F2	HM	--	002	RE-USE EXISTING DOOR AND FRAME



SEE SCHEDULE FOR DOOR MATERIAL AND GLASS TYPE

1 DOOR TYPES

A601 1/2" = 1'-0"



2 FRAME TYPES

A601 1/2" = 1'-0"

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DOOR SCHEDULE,
TYPES AND DETAILS

A601

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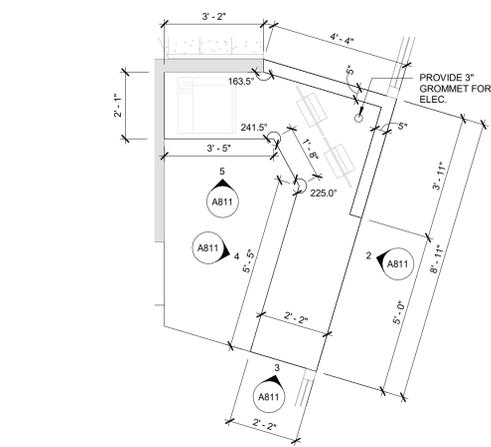
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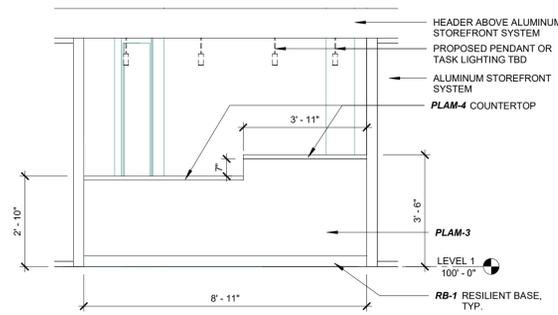
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MILLWORK PLANS,
ELEVATIONS, AND
MILLWORK SECTIONS

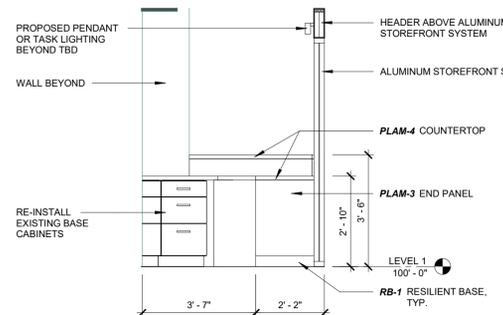
A811



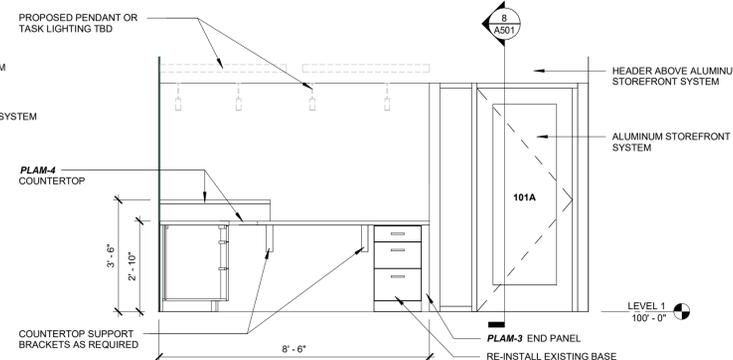
1 MW07 ENLARGED MILLWORK PLAN - RECEPTION
A811 3/8" = 1'-0"



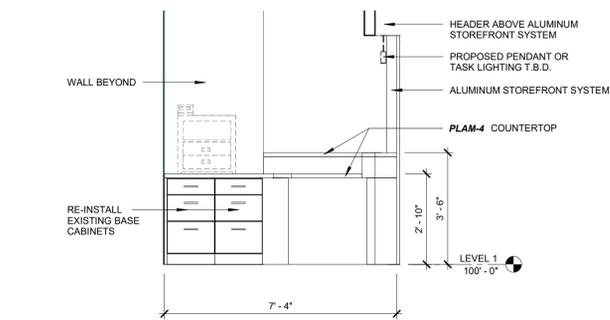
2 MW07 MILLWORK ELEVATION - RECEPTION
A811 3/8" = 1'-0"



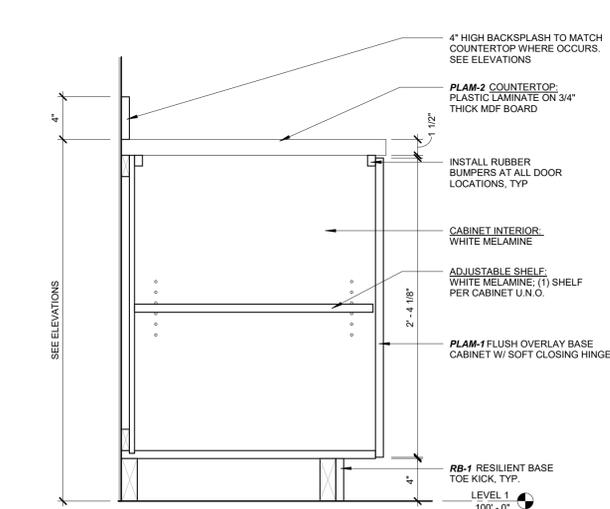
3 MW07 MILLWORK ELEVATION - RECEPTION
A811 3/8" = 1'-0"



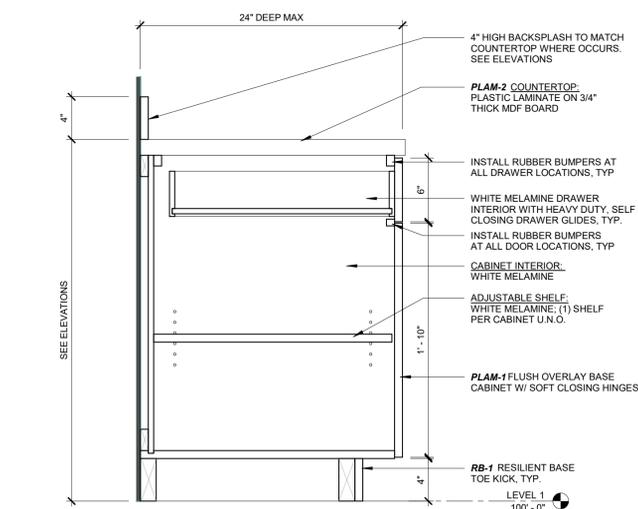
4 MW06 MILLWORK ELEVATION - RECEPTION
A811 3/8" = 1'-0"



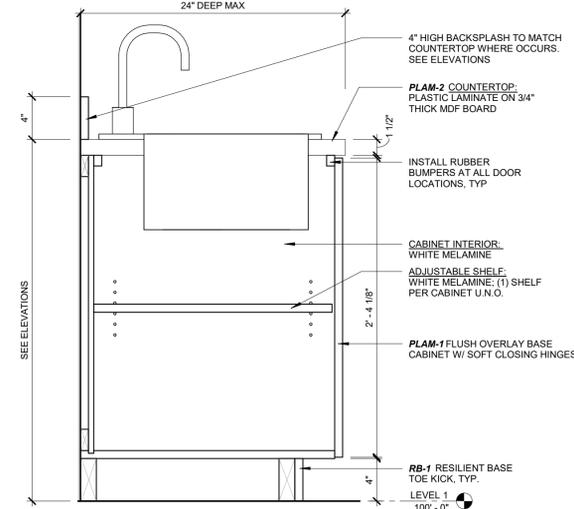
5 MW07 MILLWORK ELEVATION - RECEPTION
A811 3/8" = 1'-0"



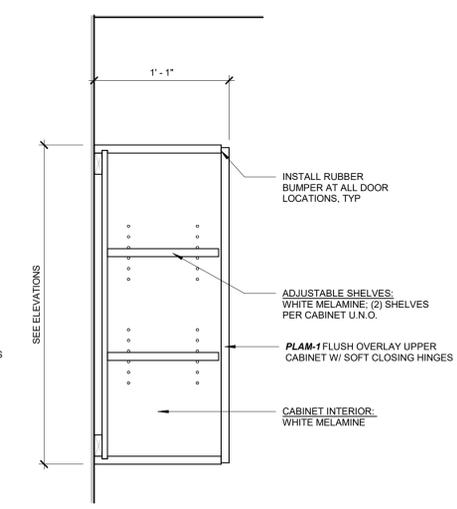
6 SECTION @ BASE CABINET
A811 1 1/2" = 1'-0"



7 SECTION @ BASE CABINET W/ DRAWER
A811 1 1/2" = 1'-0"



8 SECTION @ BASE CABINET W/ SINK
A811 1 1/2" = 1'-0"



9 SECTION @ UPPER CABINET
A811 1 1/2" = 1'-0"

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**LEVEL 1 ENLARGED
DEMOLITION AND
FLOOR PLAN**

A141

DEMOLITION KEYNOTES

- (D1) NO WORK IN THIS AREA.
- (D2) REMOVE EXISTING WALL AND ASSOCIATED COMPONENTS, PATCH NEWLY EXPOSED SURFACES AS NEEDED FOR NEW FINISHES.
- (D3) REMOVE AND SALVAGE EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- (D4) REMOVE AND SALVAGE EXISTING DOOR & SIDELITE, FRAME, AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- (D5) REMOVE AND SALVAGE EXISTING DOOR & SIDELITE, FRAME, AND ASSOCIATED HARDWARE FOR RE-USE WITHIN PROJECT.
- (D6) REMOVE EXISTING WINDOW AND FRAME.
- (D7) REMOVE EXISTING CASEWORK / MILLWORK, AND COUNTERTOP. REMOVE ALL ASSOCIATED EQUIPMENT, BASE, AND UPPER CABINETS. PREPARE WALL, CEILING, AND FLOOR TO RECEIVE NEW FINISHES.
- (D8) REMOVE EXISTING RECEPTION DESK, MILLWORK, COUNTERTOP, AND ALL ASSOCIATED HARDWARE. PREPARE FLOOR AND ADJACENT WALLS TO RECEIVE NEW FINISHES.
- (D9) REMOVE EXISTING FLOORING AS INDICATED. PREPARE FLOOR FOR NEW FINISH.
- (D10) REMOVE AND SALVAGE EXISTING SINK FOR RE-USE WITHIN PROJECT.
- (D11) REMOVE EXISTING TACKBOARD AND ASSOCIATED HARDWARE. PATCH/REPAIR WALLS TO RECEIVE NEW FINISHES.
- (D12) REMOVE EXISTING TALL STORAGE CASEWORK/MILLWORK AND ASSOCIATED HARDWARE. PATCH/REPAIR FLOOR AND WALLS TO RECEIVE NEW FINISHES.
- (D13) REMOVE EXISTING TOILET AND ASSOCIATED HARDWARE.
- (D14) REMOVE EXISTING LIGHT FIXTURE. COORDINATE EXTENTS AND SCOPE WITH ELECTRICAL.
- (D15) REMOVE EXISTING GYPSUM CEILING SYSTEM, GRILLES, AND ACCESS PANELS WHERE OCCUR. RETAIN & PROTECT EXISTING FIRE SPRINKLER SYSTEM AND HEADS.
- (D16) EXISTING FLOORING AND BASE TO REMAIN.
- (D17) REMOVE EXISTING PENDANT LIGHT FIXTURES AND CABLES FROM SECOND LEVEL CEILING ABOVE. COORDINATE EXTENTS AND SCOPE WITH ELECTRICAL.
- (D18) REMOVE AND SALVAGE EXISTING FIRE ALARM PULL AND HORN STROBE FOR RE-USE WITHIN PROJECT.
- (D19) REMOVE AND SALVAGE EXISTING BASE CABINETS FOR RE-USE WITHIN PROJECT. RE-FINISH CABINET MATERIAL TO MATCH NEW CONSTRUCTION.
- (D20) REMOVE AND SALVAGE EXISTING BULLETIN BOARD AND ASSOCIATED HARDWARE. RETURN TO OWNER.
- (D21) EXISTING BULLETIN BOARD TO REMAIN.
- (D22) EXISTING FIRST AID KIT TO REMAIN.
- (D23) (DEDUCT ALTERNATE) REMOVE PORTION OF EXISTING RECEPTION DESK, MILLWORK, AND COUNTERTOP AS INDICATED. PREPARE RECEPTION DESK TO REMAIN FOR MODIFICATIONS AS INDICATED IN NEW CONSTRUCTION.
- (D24) (DEDUCT ALTERNATE) PORTION OF EXISTING RECEPTION DESK TO REMAIN.
- (D25) (DEDUCT ALTERNATE) REMOVE PORTION OF EXISTING PENDANT LIGHT FIXTURES (MINIMUM OF 2) AND CABLES FROM SECOND LEVEL CEILING ABOVE. MATCH EXTENTS OF MODIFIED RECEPTION DESK. COORDINATE WITH ELECTRICAL.

GENERAL KEYNOTES

- (1) NO WORK IN THIS AREA.
- (2) PATCH AND REPAIR FLOOR AND WALLS WHERE PARTITION WALL WAS REMOVED. FINISH TO MATCH EXISTING.
- (3) PROVIDE AND INSTALL NEW HAND WASHING SINK WITH EJECTION PUMP UP AND OVER EXISTING HALLWAY. MATCH EXISTING TYPE AND FIXTURE.
- (4) PROVIDE AND INSTALL NEW SINK WITH EJECTION PUMP UP AND OVER EXISTING HALLWAY. MATCH EXISTING TYPE AND FIXTURE.
- (5) PROVIDE AND INSTALL NEW COUNTERTOP AND MILLWORK.
- (6) PROVIDE NEW DOOR AND FRAME. MATCH EXISTING.
- (7) RE-INSTALL SALVAGED SINK. PROVIDE AND INSTALL NEW FAUCET.
- (8) PATCH AND REPAIR FLOOR AND WALLS WHERE CASEWORK/MILLWORK WAS REMOVED. FINISH TO MATCH EXISTING.
- (9) NEW COUNTERTOP DISHWASHER. OWNER PROVIDED, G.C. INSTALLED.
- (10) RELOCATED EXISTING BENCH.
- (11) PROVIDE AND INSTALL NEW RECEPTION DESK, RE-FINISHED BASE CABINETS, AND COUNTERTOP.
- (12) PROVIDE AND INSTALL NEW FULL HEIGHT GLASS STOREFRONT SYSTEM AND DOOR. DOOR HARDWARE TO INCLUDE PUNCH CODE AT ENTRY AND ACCESS READER TIED TO BUZZER AT RECEPTION DESK FOR QUICK RELEASE.
- (13) PROVIDE AND INSTALL NEW 10" HIGH TOILET FIXTURE.
- (14) RE-INSTALL SALVAGED DOOR AND SIDELITE. RE-INSTALL EXISTING DOOR HARDWARE IF ACCEPTABLE. IF NOT PROVIDE AND INSTALL NEW DOOR HARDWARE SET. MATCH EXISTING.
- (15) RE-INSTALL AND REPOSITION SALVAGED FIRE ALARM PULL AND HORN STROBE. TIE INTO EXISTING FIRE ALARM PROTECTION SYSTEM.
- (16) (DEDUCT ALTERNATE) PORTION OF EXISTING RECEPTION DESK TO REMAIN. MODIFY AND FINISH END PANEL TO MATCH EXISTING.
- (17) (DEDUCT ALTERNATE) PATCH AND REPAIR FLOORING TO MATCH EXISTING.

DEMOLITION GENERAL NOTES

NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN SHOWN ON PLANS. PROVIDE DUSTPROOF PARTITIONS AS REQUIRED TO ACCOMPLISH WORK WITH MINIMUM DISTURBANCE TO FUNCTIONS OF ADJACENT AREAS.

THE CONTRACTOR SHALL PROTECT THE EXISTING CONDITION DURING CONSTRUCTION. ANY EXISTING CONDITION DAMAGED AS A RESULT OF THE WORK SHALL BE REPAIRED TO AN EXTENT AND AS REQUIRED TO MATCH ADJACENT.

MAINTAIN ALL EXISTING SERIES IN ADJACENT AREAS OF THE BUILDING DURING THE PROJECT. MAINTAIN ALL EGRESS AND FIRE PROTECTION REQUIREMENTS.

GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK, PHASING, AND SEQUENCING WITH THE OWNER.

COORDINATE DEMOLITION SCOPE WITH STRUCTURAL.

MOUNTING DEVICES, MISCELLANEOUS AND UNUSED ACCESSORIES, WIRES AND FASTENERS TO BE REMOVED BY DEMOLITION CONTRACTOR. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO VERIFY EXTENT OF REQUIRED DEMOLITION & PREPARATION WORK.

ALL DIMENSIONS SHOWN REPRESENT INTENT. ACTUAL DIMENSIONS NEED TO BE VERIFIED IN FIELD.

COORDINATE WITH OWNER/LANDLORD ALL ITEMS TO BE SALVAGED PRIOR TO THE BEGINNING OF DEMOLITION.

ALL ITEMS NOTED TO BE SALVAGED AND REMOVED ARE TO BE PROTECTED FROM DAMAGE DURING REMOVAL AND STORED IN A PROTECTED LOCATION FOR REUSE.

WHERE DEMOLITION HAS OCCURRED, AND NEW CONSTRUCTION IS NOT REQUIRED, PATCH AND REPAIR REMAINING SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES.

WHERE PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE PARTITION WITH ALL ITEMS CONTAINED WITHIN, INCLUDING BUT NOT LIMITED TO, DOORS, FRAMES, HARDWARE, SIDELITES, WINDOWS, MECHANICAL AND ELECTRICAL EQUIPMENT, RECEPTACLES, LOW VOLTAGE WIRING AND DEVICES, ETC. REMOVE TO STRUCTURE ABOVE OR TO NEAREST JUNCTION BOX.

CONTRACTOR AND SUBCONTRACTORS ARE RESPONSIBLE TO PATCH AND REPAIR ALL FINISHES TO LIKE NEW CONDITION, TO MATCH EXISTING ADJACENT, WHERE IMPACTED BY NEW WORK, INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, AND PLUMBING INSTALLATIONS AND MODIFICATIONS.

CONTRACTOR RESPONSIBLE TO COORDINATE ALL DEMOLITION WORK REQUIRED FOR NEW WORK. OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF ALL SALVAGED ITEMS, INCLUDING BUT NOT LIMITED TO: LIGHT FIXTURES, PLUMBING FIXTURES, HARDWARE, ETC. SALVAGED ITEMS SCHEDULE FOR REUSE SHALL BE CLEANED, RESTORED AND/OR REFINISHED TO LIKE NEW CONDITION, UNLESS NOTED OTHERWISE.

WHERE FLOORING IS TO BE REMOVED, REMOVE ALL MATERIAL TO EXPOSE SUBSTRATE BELOW. REMOVE ALL RELATED CONSTRUCTION ADHESIVES OR FASTENERS AND PREPARE FLOOR FOR NEW FINISH.

ALL LOOSE DEBRIS, STICKERS, LETTERS AT COLUMNS, EXTRANEOUS HANGERS, MOUNTING DEVICES, MISCELLANEOUS AND UNUSED ACCESSORIES, WIRES, AND FASTENERS ARE TO BE REMOVED BY THE DEMOLITION CONTRACTOR.

SEE MECHANICAL, ELECTRICAL, AND PLUMBING DEMOLITION AND NEW CONSTRUCTION PLANS FOR MORE INFORMATION.

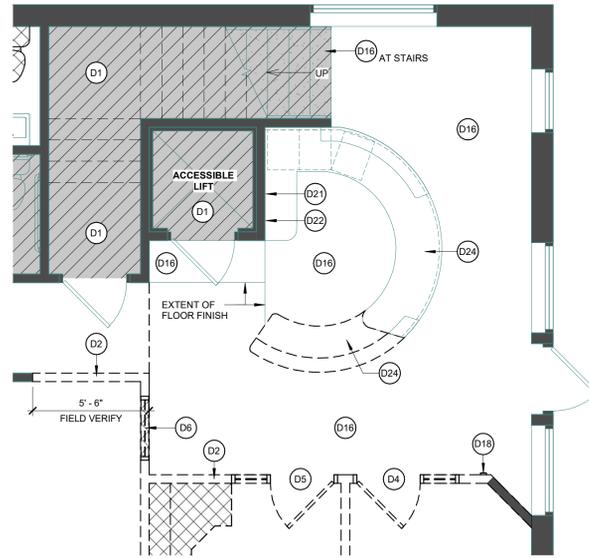
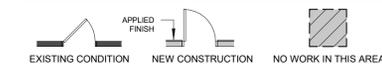
DEMOLITION SYMBOLS LEGEND



GENERAL NOTES

1. ALL DESIGN AND CONSTRUCTION IS TO FOLLOW LOCAL JURISDICTIONS AND BUILDING CODE REQUIREMENTS.
2. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO THOROUGHLY REVIEW ALL DRAWINGS AND SPECIFICATIONS PRIOR TO WORK. VERIFY ALL EXISTING FIELD CONDITIONS AND NOTIFY ARCHITECT WHEN DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS CREATE A CONFLICT.
3. REFER TO PROJECT MANUAL FOR INFORMATION ON MATERIAL AND FINISH TAGS IN DRAWINGS.
4. AREAS DISTURBED BY REMOVAL OF EXISTING CONSTRUCTION ARE TO BE PATCHED & FINISHED TO MATCH SURROUNDING FINISH OR PREPARED TO RECEIVE NEW FINISH.
5. SEE SHEET G002 FOR TYPICAL INTERIOR PARTITION TYPES AND ASSEMBLIES.
6. DIMENSIONS ARE FROM FINISH FACE OF WALL, U.N.O.
7. FACE OF WALL FINISHES TO ALIGN WITH ADJACENT WALL FINISHES WHEN WALL CONTINUITY IS BROKEN BY HALLWAY, CASEWORK, ETC.
8. ALL WALL FINISHES TO BE ADDED ON TOP OF WALL ASSEMBLY.
9. ALL FLOOR MATERIAL TRANSITIONS TO BE FLUSH, U.N.O.
10. PROVIDE IN-WALL BLOCKING FOR ALL CASEWORK, FIXTURES, TOILET ACCESSORIES, SUPPORTS, SHELVING, ETC.
11. MECHANICAL, ELECTRICAL, PLUMBING, LOW VOLTAGE, AND OTHER DISCIPLINES/TRADES ELEMENTS ARE SHOWN FOR COORDINATION ONLY. REFER TO RESPECTIVE DISCIPLINE DRAWINGS FOR MORE INFORMATION.
12. ALL NEW WALLS EXTEND TO STRUCTURE ABOVE, UNLESS HEIGHT NOTED OTHERWISE. GYPSUM BOARD AND ANY ACOUSTIC INSULATION TO EXTEND FULL HEIGHT. NOTIFY ARCHITECT AND MECHANICAL ENGINEER IF ANY CONFLICTS ARISE WITH EQUIPMENT AND DUCTS.
13. WHERE NEW WORK INTERSECTS ANY FIRE RATED ASSEMBLIES, MAINTAIN THE EXISTING FIRE RATING.

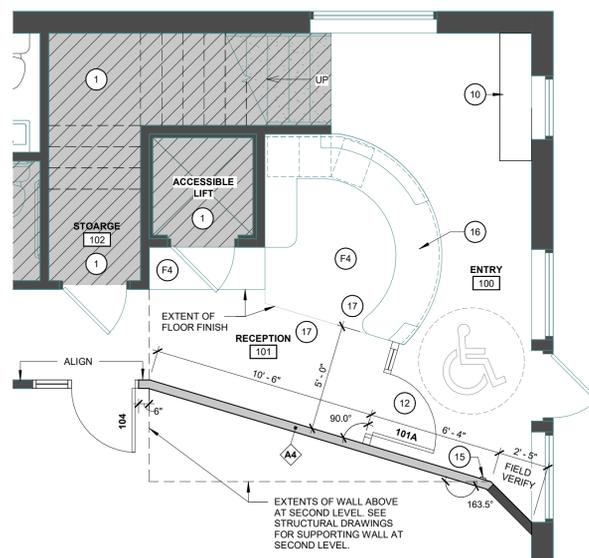
WALL / PARTITION LEGEND



1 LEVEL 1 DEMOLITION FLOOR PLAN - DEDUCT ALTERNATE

A141 1/4" = 1'-0"

NORTH



2 LEVEL 1 FLOOR PLAN - DEDUCT ALTERNATE

A141 1/4" = 1'-0"

NORTH